

Evergreen Design Essentials



Stockland



Evergreen

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THE COMMUNITY VISION

The Vision for Evergreen

Stockland is presented with a unique opportunity to deliver a high quality master planned community. It will provide a wide range of high quality public and private facilities and market leading housing choices in a variety of landscape settings.

The Design Essentials outlined in this document allow the implementation of key design principles to deliver a strong sense of place and community.

This community will offer an incomparable range of lifestyle choices, providing an outstanding place set in the signature landscape with memorable landmarks where people will love to live. A place that people will be proud to call home.



EVERGREEN MASTERPLAN



Shopping and Amenities

- Proposed Local Town Centre
- Shopping on Clyde - 5.2km
- Coles Clyde North - 5.3km
- Selandra Rise Shopping Centre - 6.6km
- Woolworths Clyde North - 6.6km
- Bunnings Clyde North - 7.5km
- Coles Cranbourne - 8.2km
- Cranbourne Park Shopping Centre - 9.2km
- Eden Rise Village Shopping Centre - 10.9km
- Caszy Lifestyle Centre - 16.8km
- Westfield Fountain Gate - 16.8km

Public Transport and Accesses

- Lymbrook Station - Clyde bus stop 857 - 2.9km
- Future Clyde Train Station - 6.4km
- Cranbourne Train Station - 10km
- Princes Freeway Entrance - 10.1km
- Peninsula Link Freeway Entrance - 32.9km
- Melbourne CBD - 58km

Leisure Centres

- Proposed Indoor Recreation Centre
- Kingswim Clyde North - 3.4km
- Caszy Fields - 6.2km
- Caszy RACE Aquatic Centre - 7.4km
- Amstel Club - 10.7km
- Settlers Run Golf & Country Club - 13.5km
- Cranbourne Golf Club - 14.2km

Education and Childcare Centres

- Aspire Childcare - 3.9km
- Kids on Clyde Child Care - 5km
- One Early Education Group Clyde North - 6.3km
- Clyde North YMCA Early Learning Centre - 6.5km
- Headstart Early Learning Centre - 6.7km
- Amiga Montessori Child Care - 8.6km
- Ramlagh Park Primary School - 4.2km
- St Thomas & Apostle Catholic Primary - 5.5km
- St Peter's College Clyde North - 5.7km
- Cranbourne East Secondary College - 7.8km
- Caszy Grammar School - 8.7km
- Hillcrest Christian College Clyde North - 12.6km
- Nossal High School - 13.6km
- St Margaret's & Berwick Grammar - 14.4km

Community Centres

- Proposed Community Facilities
- Ramlagh Community Centre Clyde North - 4.4km
- Selandra Rise Community Hub - 6.5km

Parks and Open Spaces

- Proposed Pocket Parks and Green Reserve
- Proposed Local Sports Reserve
- Edgebrook Variety Linn's Place Park - 2.7km
- Clyde Grand Reserve - 5.5km
- Royal Botanic Gardens Cranbourne - 10km

Cities and Beaches

- Seaford Beach - 23km
- Hastings Beach - 33km
- Mornington - 38km
- Mornington Beach - 38km
- Melbourne CBD - 58km
- Phillip Island - 83.6km

Medical Centres

- Caszy Medical Centre Clyde - 5.3km
- Clyde North Medical Centre - 6.1km
- Everwell Medical Centre - 6.7km
- Monash Health Hospital - 12.1km
- Koo-wee-rup Regional Health Service - 18.2km

Proposed Future Display Villages 1 & 2

Proposed Future Sales & Information Centre

Legend

- Evergreen Precinct
- Evergreen Archway
- Proposed Townhomes
- Proposed Future Display Village 1
- Proposed Future Display Village 2
- Proposed Over 50s Community
- Proposed Schools
- Proposed Community Centre
- Proposed Local Town Centre
- Proposed Mixed Use
- Proposed Clyde Regional Park and Sports Precinct by others
- Off-road Shared Walk/Bike Path

This masterplan is provided solely for the purpose of providing an impression of Stockland's Clyde residential development, as well as the approximate location of existing and proposed local party facilities, services or destinations, and is not intended for any other purpose. Stockland does not make any representation or give any warranty in relation to the future development of the site, or the current or future amenity, location or existence of any facilities, services or destinations. This masterplan is based on the information and information available to Stockland at the time of creation (August 2023) and details may change due to future circumstances, any indications of distance or size are approximate and for indicative purposes only, and are not to scale. All distances and travel time figures are estimates only, and do not take into account traffic conditions, road works or other factors that may affect travel time. Based on information obtained from Google Maps. The masterplan's use of legally binding obligations or an authority by Stockland. Stockland accepts no liability for any loss or damage arising as a result of any reliance on the masterplan or its contents.



BACKGROUND

Stockland's commitment and objectives

Stockland's commitment to you is to encourage quality urban design and development, to deliver a better way to live. Stockland's objective is to create a quality living environment that is centred around a strong sense of community and provides a variety of homes to suit a range of lifestyles.

It is important that the design of your home is in keeping with the Design Essentials outlined in this document. They have been created to:

- Encourage visually appealing and cohesive streetscapes that protect your investment.
- Promote environmentally responsive development.
- Help you get the best out of your home site.
- Outline the process to get your home approved.
- Assure you that everyone will contribute to achieving a strong neighbourhood character and standard of housing.
- Promote a contemporary approach to design that responds to the local climate and context, and 'The Community Vision'.

DESIGN APPROVAL

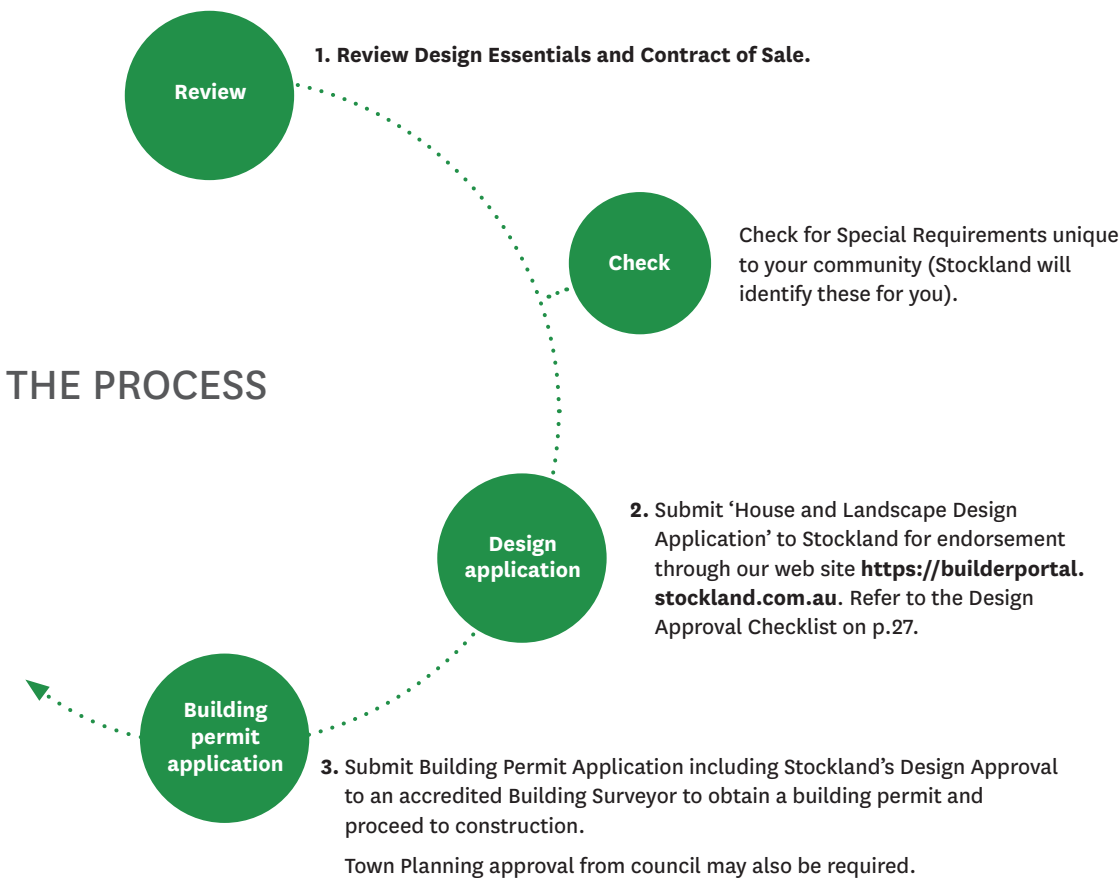
Submission requirements

In order to build, you must apply to and have an application package approved by Stockland's Covenant Specialist. Design Approval by Stockland does not constitute development or building approval or compliance with building regulations. Upon obtaining Design Approval from Stockland, a building permit^c must be obtained from the local Council or a private Building Surveyor^B before construction can commence.

The process

Stockland's Covenant Specialist will endeavour to assess proposals in the shortest possible time, generally within ten business days of receiving all required information for the application. Approved plans will be stamped approved, copied and returned to the applicant or their agent. The progress of the home and landscape construction will be monitored by Stockland to ensure that it conforms with the approved design.

All requests for comment from Stockland's Covenant Specialist, or any other queries, should be directed to the Stockland Covenant Specialist.



THE DESIGN ESSENTIALS

01

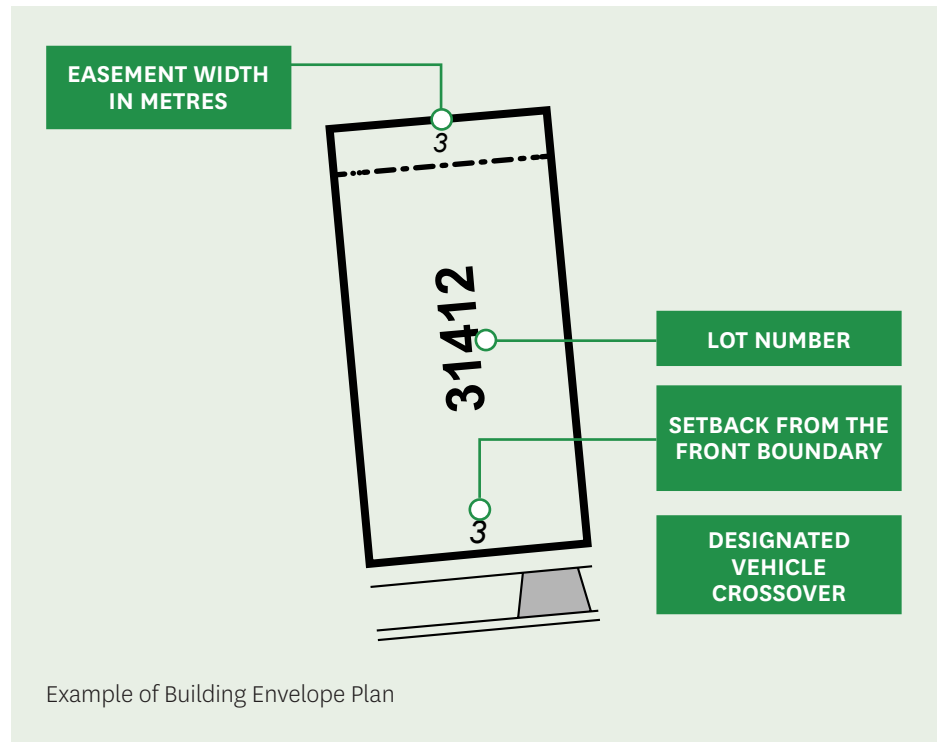
SITING AND SERVICING YOUR HOME

1.1 Minimum setbacks

All minimum setbacks must be as shown on the Building Envelope plan provided by Stockland in your contract of sale.

1.2 Small lots

Depending on local Council requirements small lots under 300sqm may be subject to the small lot housing code and/or require Town Planning permit. Please contact the Stockland Customer Relations Coordinator for more details.



02

THE STYLE OF YOUR HOME

Choosing a home style that fits in with your neighbourhood

2.1 Home style

Your Home design must be either 'Contemporary' or 'Hamptoninspired' in keeping with the other homes in your street.

Faux heritage styles and detailing will not be permitted unless it is in keeping with the above architectural styles.

2.2 House design separation

The house may not be the same as one within three lots either side or across the street, unless:

- It is approved in writing by Stockland and/or
- The house is part of a row of terraced homes or a medium density development.



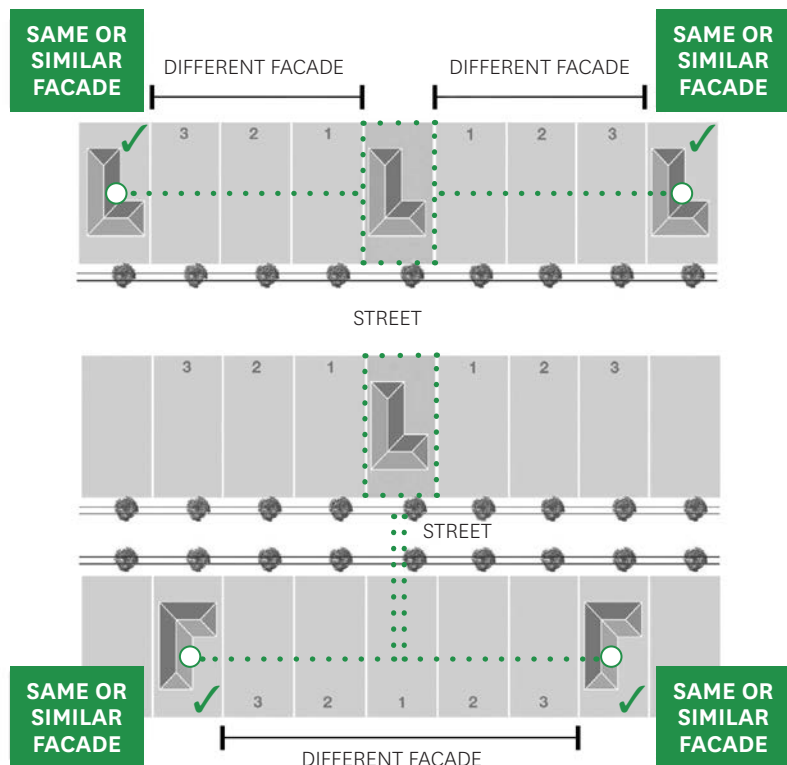
✓ Hampton-inspired Facade by Carlisle Homes



✓ Contemporary Facade



✗ Faux heritage features not permitted



2.3 Roof pitch

A minimum roof pitch of 22.5 degrees is required unless it is a skillion roof, in which case it must have a minimum roof pitch of 10 degrees and a maximum roof pitch of 15 degrees.

2.4 Eaves

Eaves a minimum of 300mm deep are required for sections of roof visible from the street, with a minimum 2 metre return on the side.

Eaves a minimum of 300mm deep are required to all sides of double storey components.

All corner lots must incorporate a minimum of 300mm deep eaves to all sides of the roof visible from the street.

Eaves are not required for walls on boundary.

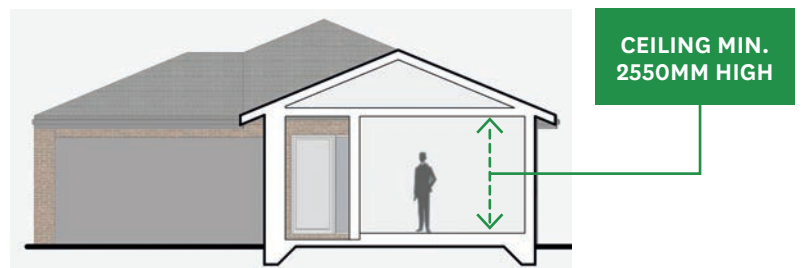
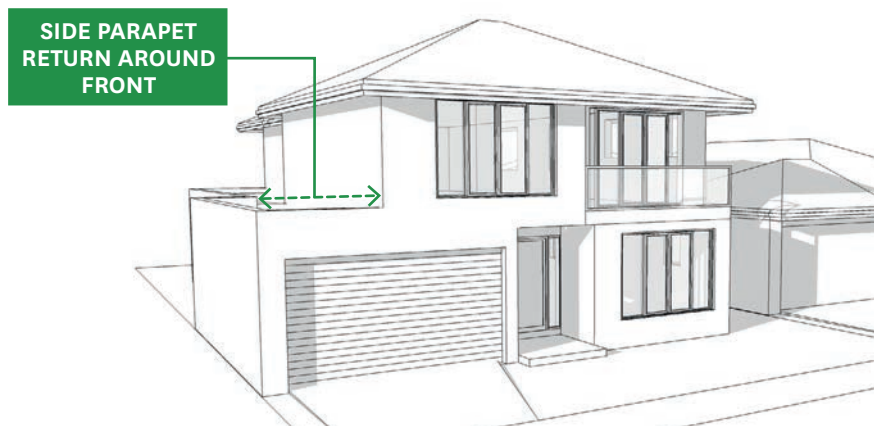
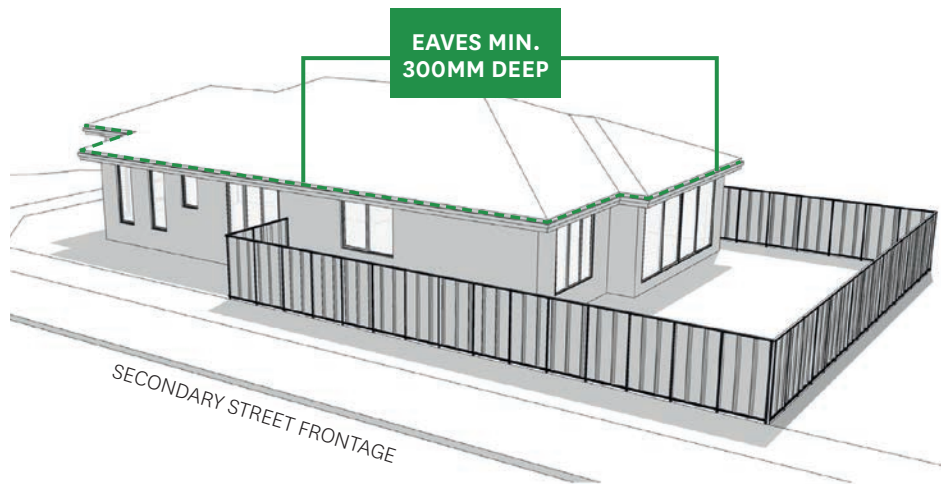
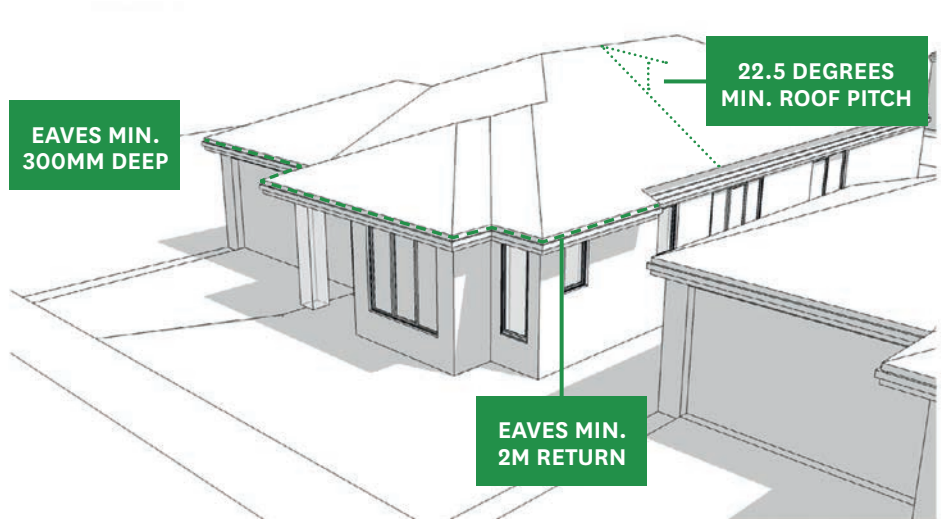
2.5 Parapet walls

Flat roofs less than 5 degrees must be fully concealed by a parapet.

Any side parapet wall must return around the front façade and must not create a 'step' in the front facade wall.

2.6 Ceiling heights

The ground floor of your home must have a minimum ceiling height of 2550mm.



03

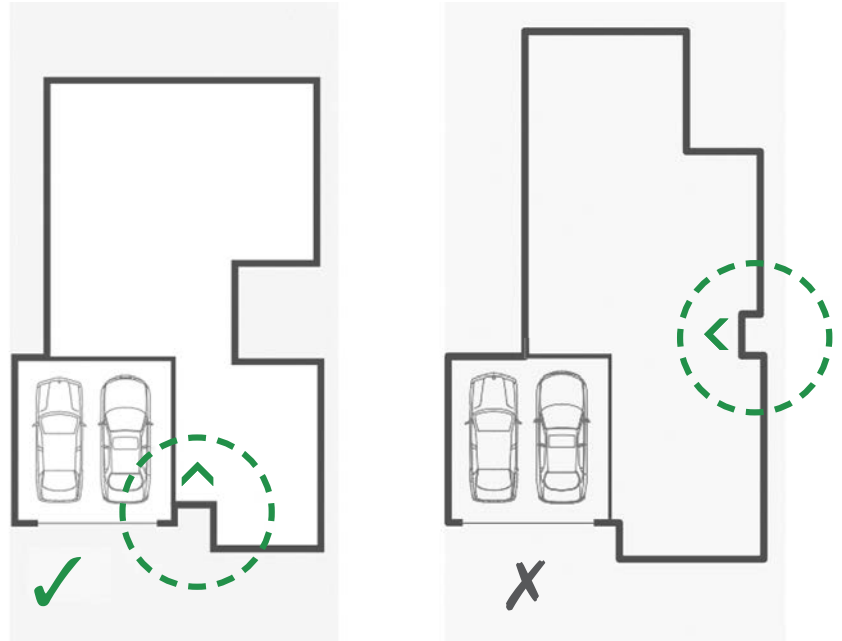
HOW YOUR HOME ADDRESSES THE STREET

3.1 Front door facing the street

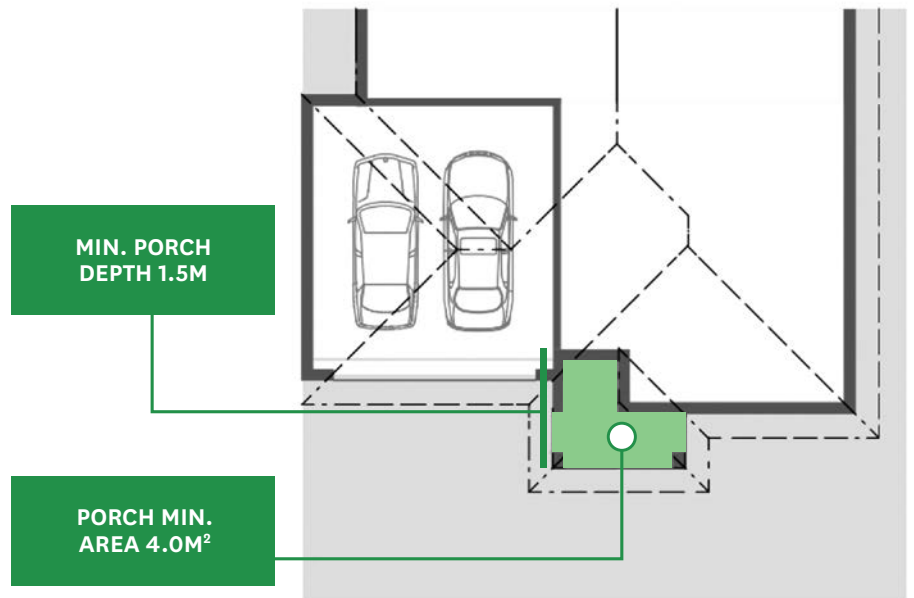
Your home must have a front door facing the street and either a verandah, porch or portico, to allow for passive surveillance.

3.2 Porch, portico or verandah size

Your home must have an undercover porch, portico or verandah with a minimum floor area of 4.0 square meters and a minimum depth of 1.5m.



Front Door facing the street



Porch, Portico or Verandah Size

3.3 Windows

Your home must have a minimum of 1 habitable room window on each facade facing both the primary and secondary street frontages, to allow for passive surveillance.

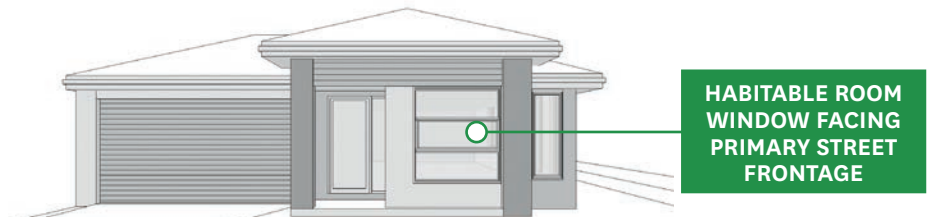
Windows that are readily visible from the street must be consistent in style and proportion and must have a maximum sill height of 1.25m above the finished floor level. These windows include:

- ground floor and upper storey windows on the front facade facing the primary street frontage, and
- ground floor and upper storey windows forward of the corner fence return facing the secondary street frontage.

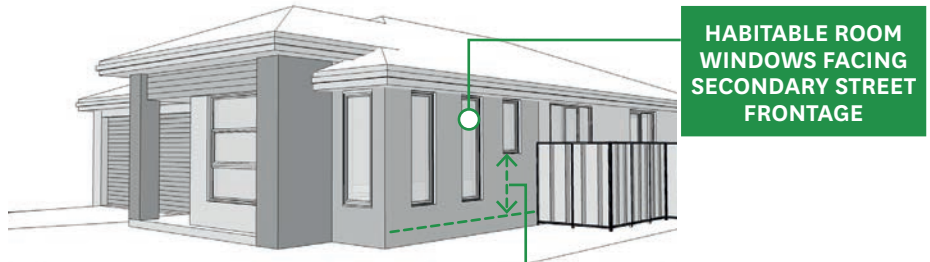
Blank walls with no windows are not permitted on any facade visible from both primary and secondary street frontages.

3.4 Corner lots

Where permissible, a building on a corner lot may encroach not more than 300 millimetres into the setback on a side street for a maximum length of 10 per cent of the building wall facing that side street, to achieve an element of articulation.



✓ Habitable room windows facing primary street frontage

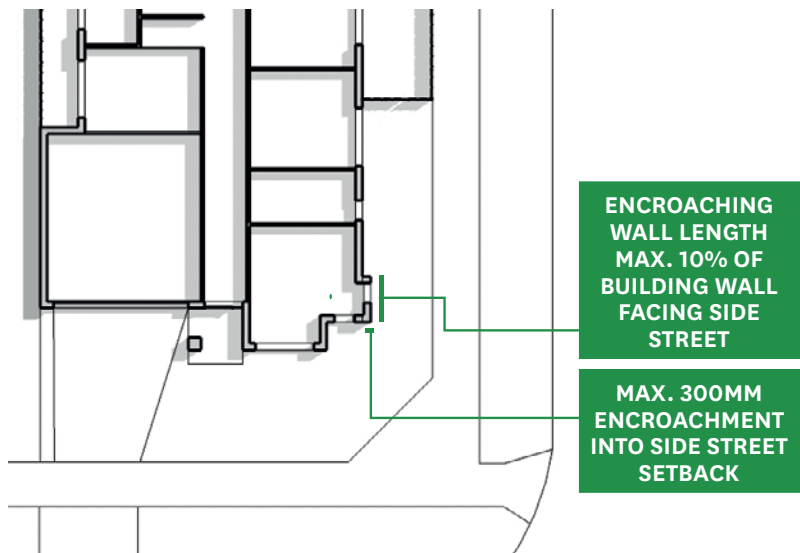


✓ Side street windows match style and proportion of front windows



✓ Side street windows match style and quality of front windows

✗ Side street windows do not match style of front windows



3.5 Second storey facade articulation

Second storey facades to front or side street and rear laneway must incorporate articulation via balconies and/or modulations (eg. additional setbacks, roof articulation).

3.6 External materials

All external materials and colours must suit the character of the neighbourhood and be submitted to Stockland for approval.

Colour and material requirements apply to both the first and second storey of the facade.

For homes on corner and rear accessed lots, architectural treatment, facade elements, roof articulation, materials & colours incorporated on the front facade must return along the secondary street frontage up to the corner fence return. Refer to corner fence requirements.

3.7 Roof, gutters and downpipes

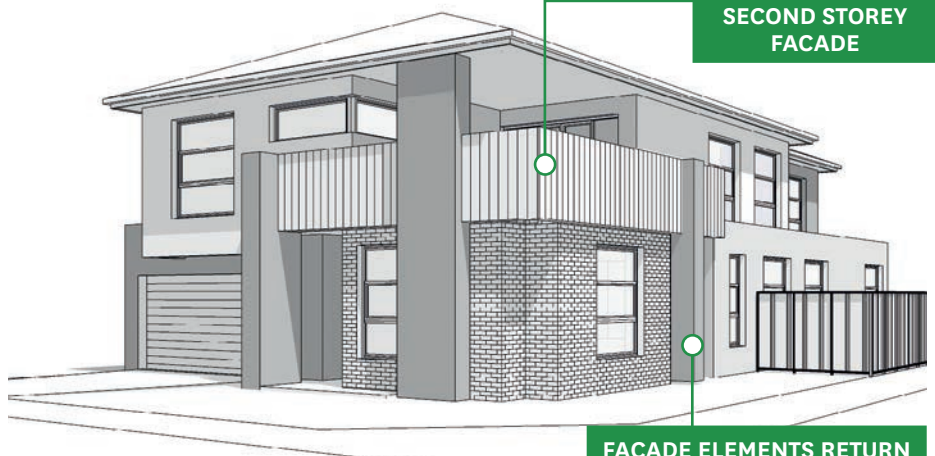
Gutter & fascia colours are to match the roof colour. Downpipe colours must not contrast with wall colour.

Roof materials must not be: unfinished, reflective, galvanised, zinc, fibre cement, tray deck sheeting.



✓ **Front street elevation materials and colours continue for all facades visible to the street**

BALCONY TO FRONT & SIDE STREET SECOND STOREY FACADE



✓ **Corner Lot Architectural treatment, facade elements, roof articulation, materials & colours**

FACADE ELEMENTS RETURN ALONG SIDE STREET FRONTAGE UP TO CORNER FENCE RETURN



✓ **Additional setbacks and articulation to second storey facade**

3.8 Garages

The garage must be attached and match the quality and finish of the exterior of your home. Carports will not be approved.

Single and double garages must be setback a minimum of 840mm from the front or side building line unless otherwise noted in the building envelope plan. The exception to this is where the house is double storey and the second level covers 50% of the garage area. In this case, the garage can be in line with the front or side building line.

Single garages must have a maximum opening width of 3.5m. Double garages must have a maximum opening width of 5.5m.

Double garages cannot exceed 7m in width (measured as the internal clear width plus the external wall).

3.9 Rear access garages

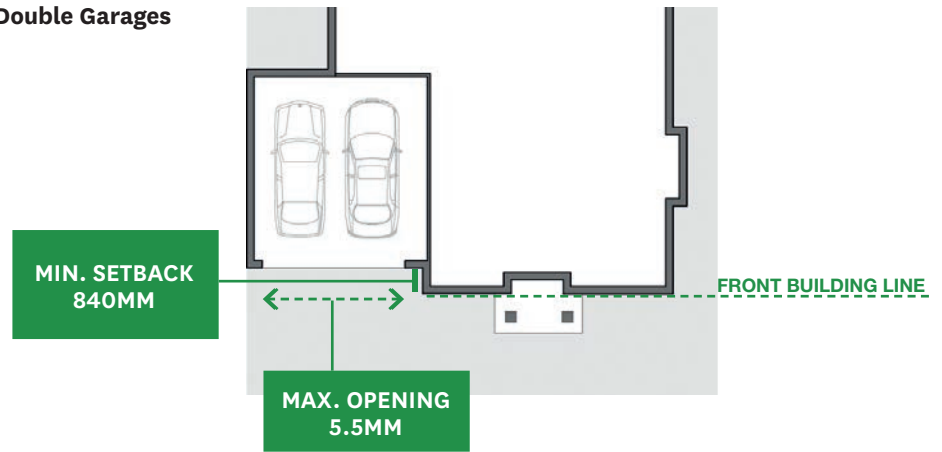
A Garage accessed from the rear of the property must be setback 500mm minimum from the rear property line. Rear access garages can be detached but must match the look of the dwelling.

3.10 Triple garages

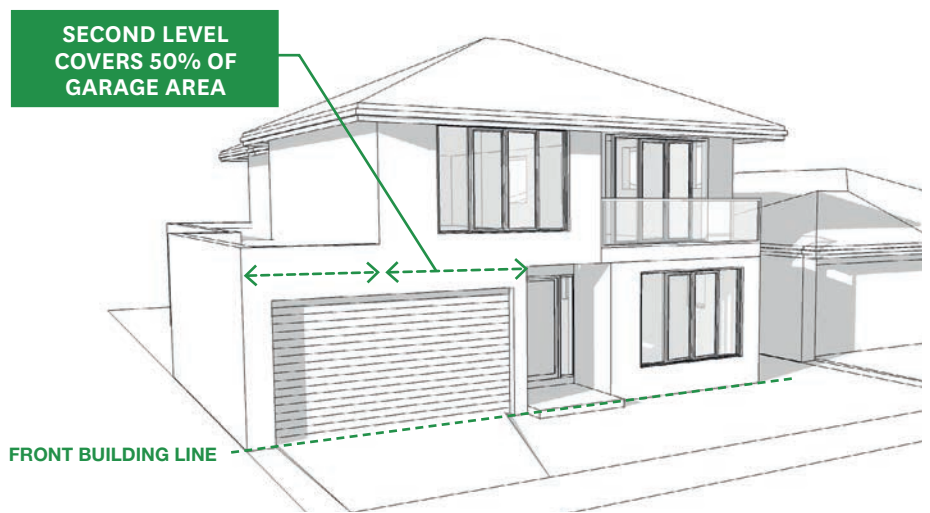
If a triple garage frontage is proposed then:

- The lot width must be at least 18m frontage
- The third garage must be setback a further 840mm from the other garage doors.

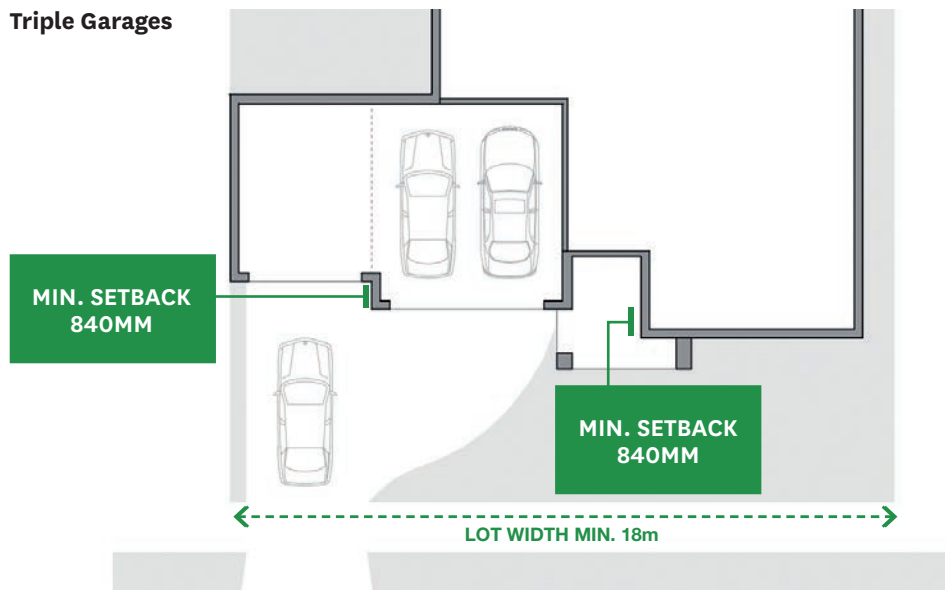
Double Garages



Garage Design - Double Storey home



Triple Garages



3.11 Garage doors

Garage doors must be:

- Panel lift, or
- Sectional overhead, or
- Tilt-a-door

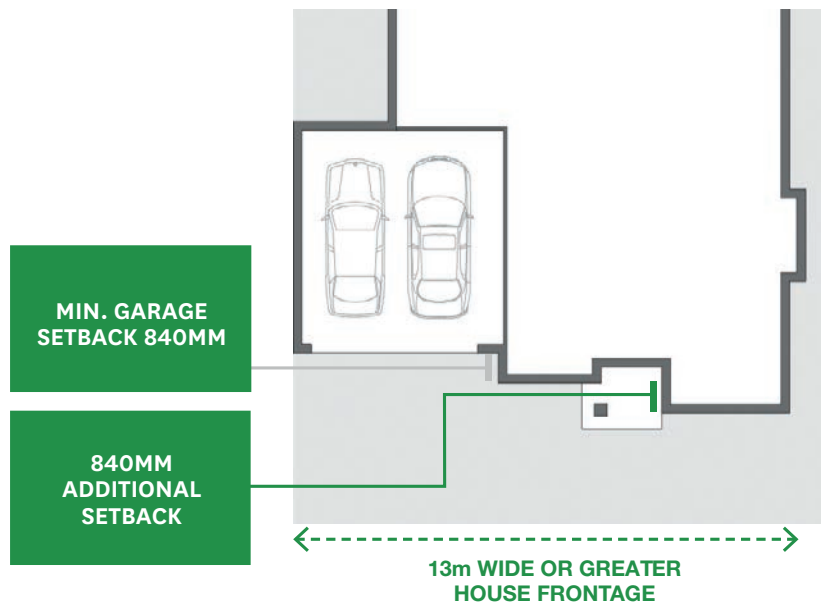
Roller doors will not be approved.

3.12 Requirements for home frontages that are 13m or more in width

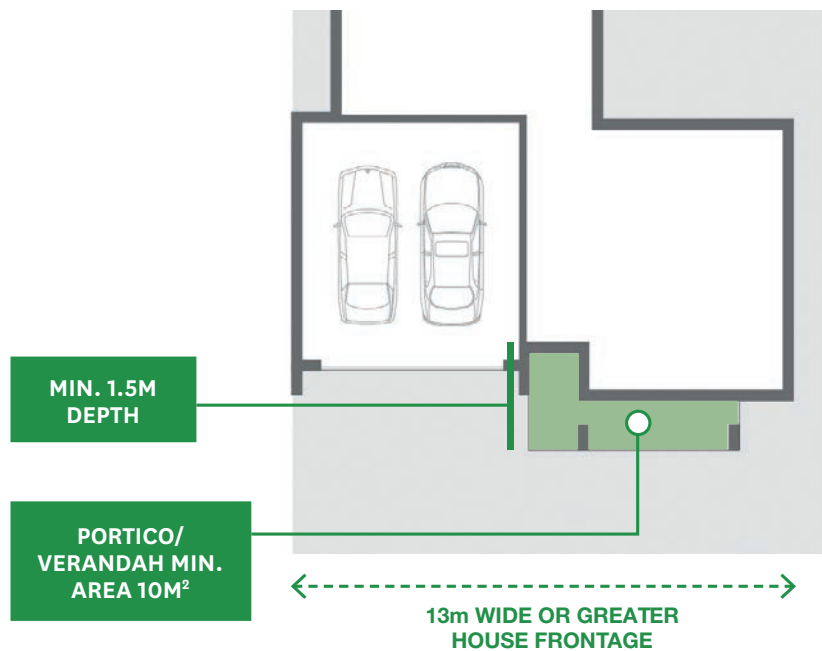
Where your home frontage is 13.0m wide or greater at least one of the following is required:

- A step in the front façade of a minimum 840mm (this step must be in addition to any step at the garage), or
- A portico / verandah with a minimum area of 10 sqm. The porch must also have a depth of minimum 1.5m deep.

Note: An entry recess is not a step in the facade.



Option: 840mm additional step in front facade



Option: Portico/Verandah min area 10sqm and min depth 1.5m

04

FRONT GARDEN LANDSCAPE

4.1 Extent of landscaping

All parts of the lot not built on or are hard paved, that are visible from a front or side street or rear laneway, must be landscaped in the form of:

- Garden beds
- Turf
- Paving
- Decking

Your garden must be completed within 1 year of Stockland receiving your Certificate of Occupancy.

Stockland encourage you to landscape and maintain the nature strip in front of your home to contribute to the overall presentation of the community.

4.2 Extent of hard paving

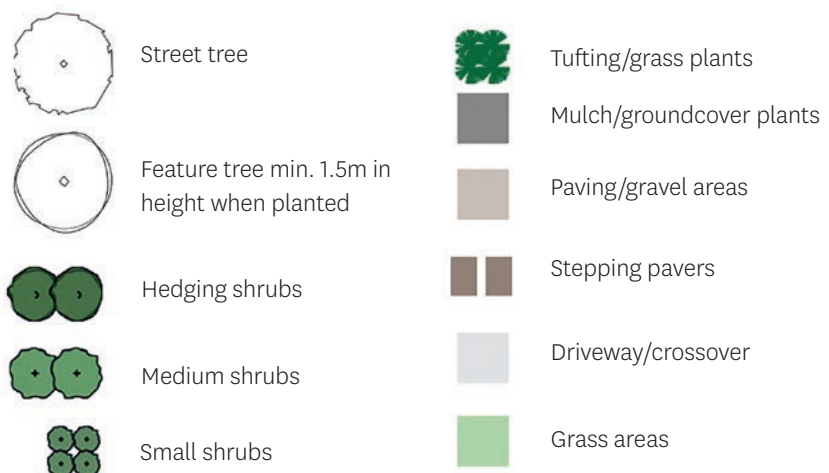
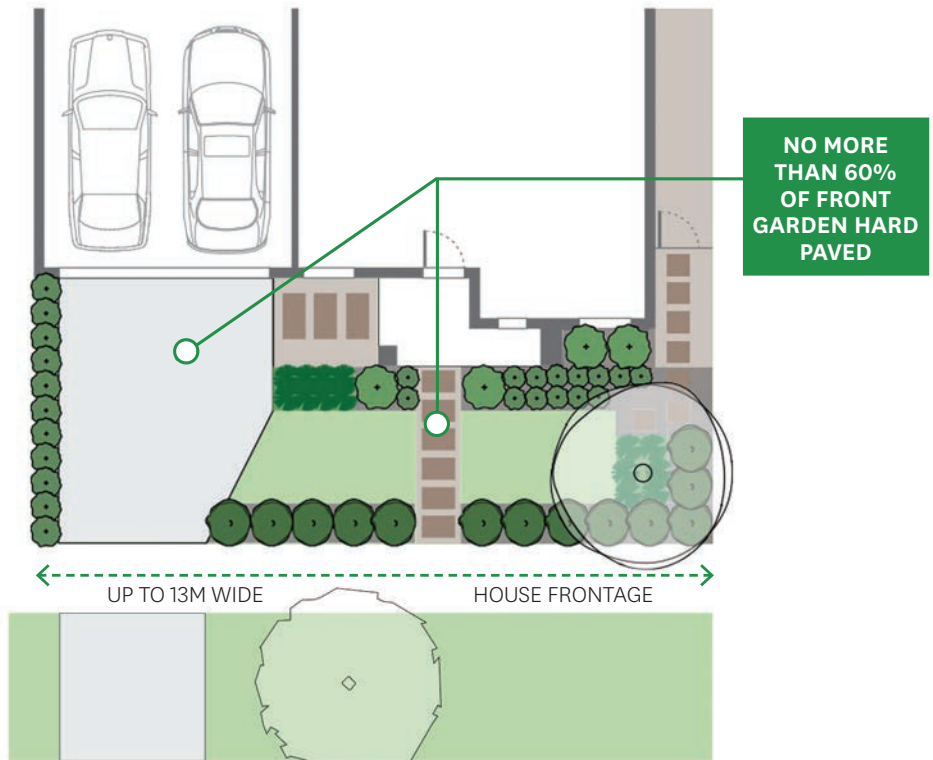
No more than 60% of your front garden area is to be hard paved. This includes your driveway.

4.3 Trees in front garden

For lots of up to 13m wide, 1 small to medium feature tree min. 1.5m in height when planted is required.

For lots with a width greater than 13m, 2 small to medium feature trees min. 1.5m in height when planted are required.

REFER TO EVERGREEN
LANDSCAPE DESIGN
GUIDELINES



Example proposed landscape plan

4.4 Driveways

The driveway is to be shown on the house plans submitted to Stockland for approval.

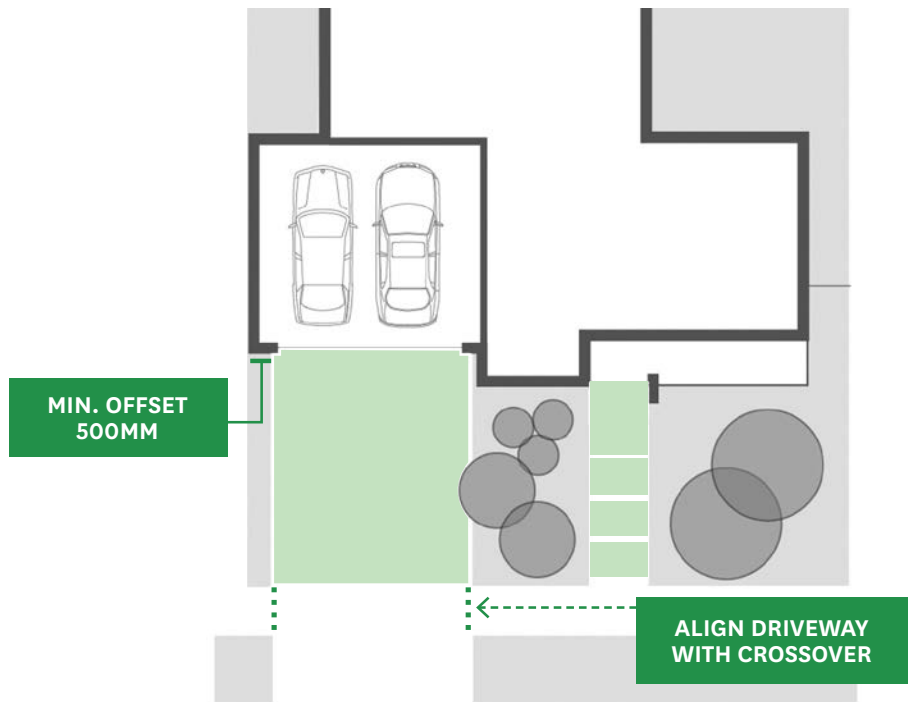
The driveway must be offset a minimum of 500mm from the nearest side boundary.

Driveways must align with the crossover and be constructed within 1 year of Stockland receiving your Certificate of Occupancy.

Acceptable driveway materials are:

- Stamped or coloured concrete;
- Brick, slate or natural stone pavers;
- Exposed aggregate concrete.

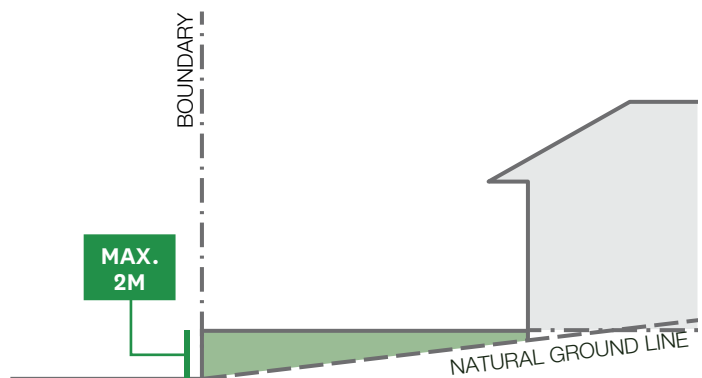
Plain concrete driveways (in lightgrey 'standard' concrete) are prohibited.



4.5 Retaining walls

Where visible from the street or public realm, the vertical face of any retaining wall cannot be more than 1.2m in height, otherwise it must be stepped back.

Retaining walls which abut a street must be constructed of stone or rendered masonry, in line with the village character and to the satisfaction of Stockland's Covenant Specialist.



05

FENCING AND BOUNDARIES

5.1 General requirements

Stockland does not provide fencing. Fencing design drawings must be submitted for approval by Stockland's Covenant Specialist.

Fencing, other than optional front fencing, is to be constructed prior to you moving in to your home.

Pre-existing fencing is not to be removed for any reason without prior written consent from Stockland's Covenant Specialist.

5.2 Front fencing

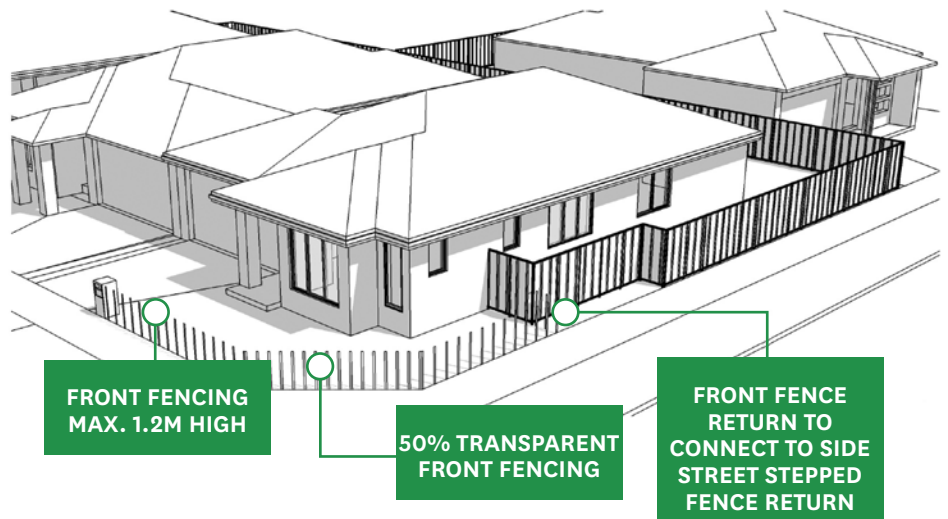
Front fences are permitted where they:

- Complement the style and colour scheme of the home
- Are no higher than 1.2m
- Are 50% transparent
- Return along the side boundaries to connect back to the side fences or walls of your home. For corner lots, where there is a side street stepped fence, the front fence must return to connect to the stepped fence return.
- Have been approved by Stockland

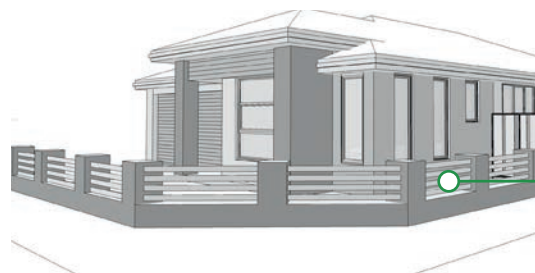
If an adjoining neighbour has already built a Stockland approved front fence, your fence will not have to return along the adjoining side boundary.

If you choose to fence the front of your lot, you must submit fencing layout and design drawings for approval by Stockland before commencing construction.

Chain mesh or chain link fencing systems will not be approved.



✓ Front fencing compliments style and colour scheme of home



✓ Front fence 30%-50% transparent



✓ Front fence 30%-50% transparent and compliments style of home

5.3 Front hedges

Where a front hedge is planted, a minimum pot size of 200mm is required with a minimum spacing of 500mm between trunks to allow room for growth.

Hedges are to be maintained to a maximum height of 1.2m. Species to be selected to avoid growing too large at maturity.



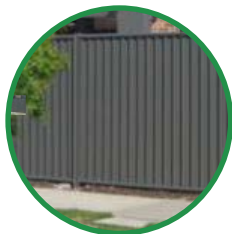
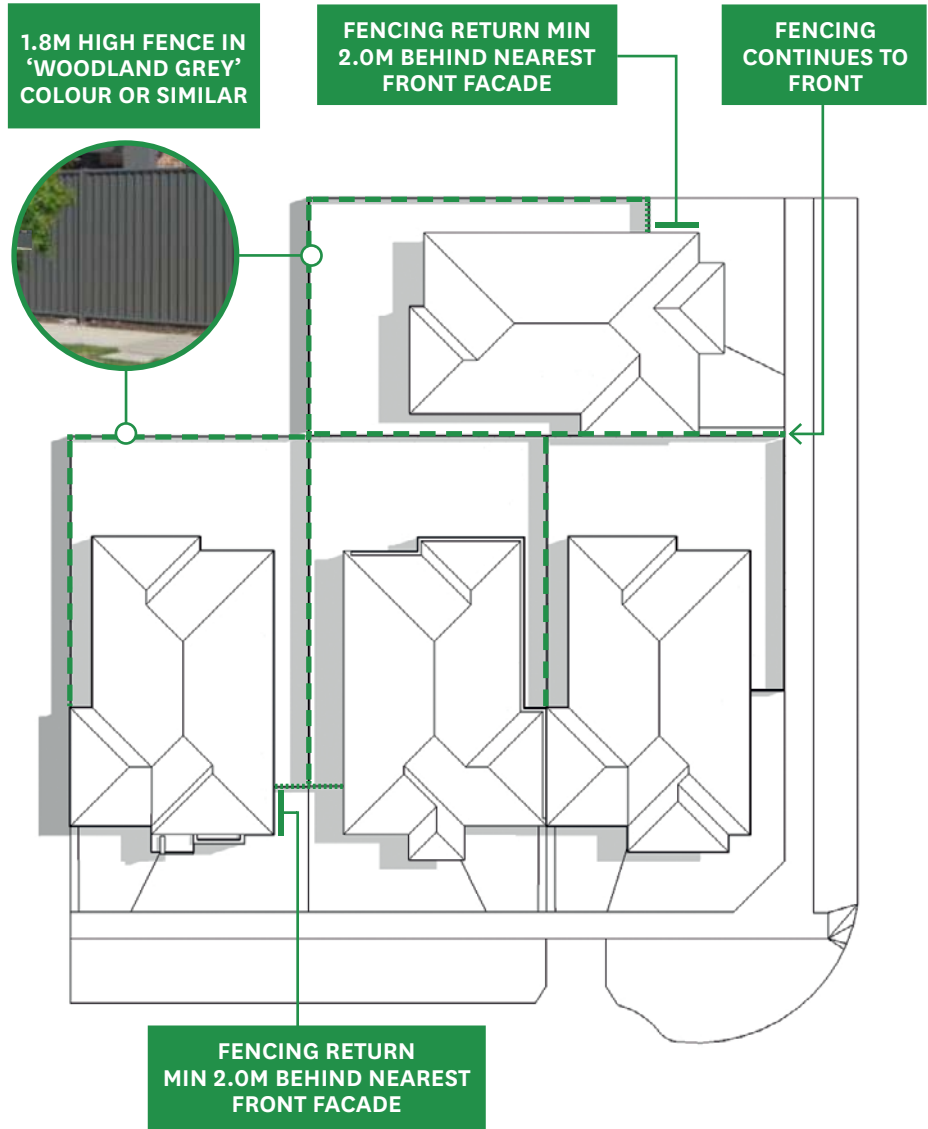
X Front fence not transparent and does not compliment the style and colour scheme of the home



5.4 Mandatory side and rear fencing

The following fencing standard is required:

- Be constructed of 1.8m high pre-coated metal sheeting panels (eg. Colorbond®) in 'Woodland Grey' colour or coloured to match.
- Acceptable fencing profiles include Lysaght's® 'Neetascreen' or Stratco's® 'Superdek' range, or similar profiles approved in writing by Stockland's Covenant Specialist.
- Be returned at 90 degrees to the home, to connect with the side of the home or garage wall at least 2m behind the nearest front facade.
- Continue to the front of the lot if a side boundary forms the rear boundary of an adjoining lot unless otherwise specified.

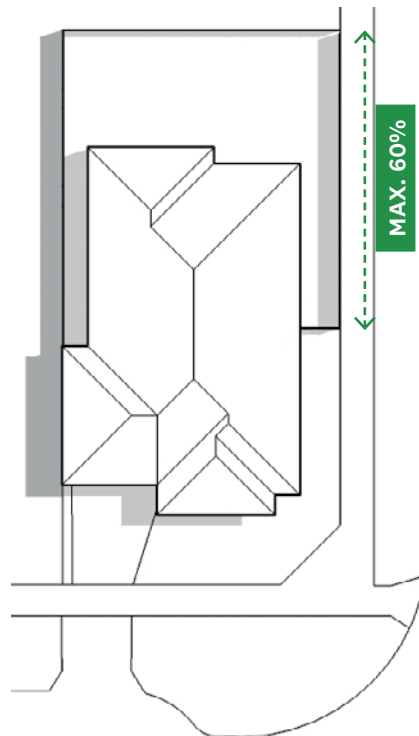


5.5 Mandatory side street fencing to corner and rear access lots

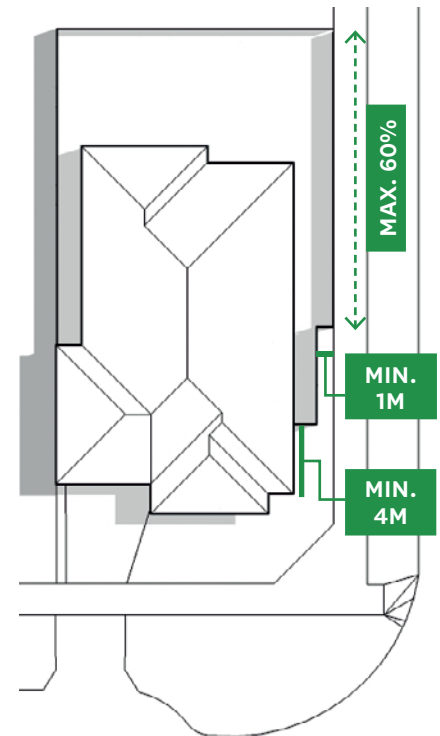
The following fencing standard is required

- Be constructed of 1.8m high pre-coated metal sheeting panels (eg. Colorbond®) in 'Woodland Grey' colour or coloured to match.
- 100x100mm expressed posts, capping and 150mm plinth detail in black.
- Acceptable fencing profiles include 'Lysaghts'® 'Neetascreen or Stratco's® Superdeck range or similar profiles approved in writing by Stockland's Covenant Specialist.
- Not exceed 60% of the length of the side boundary taken from the rear boundary.
- Option to have stepped fence with landscaping up to a minimum of 4m from the nearest front corner building line.
- On sloping sites fences should be stepped.

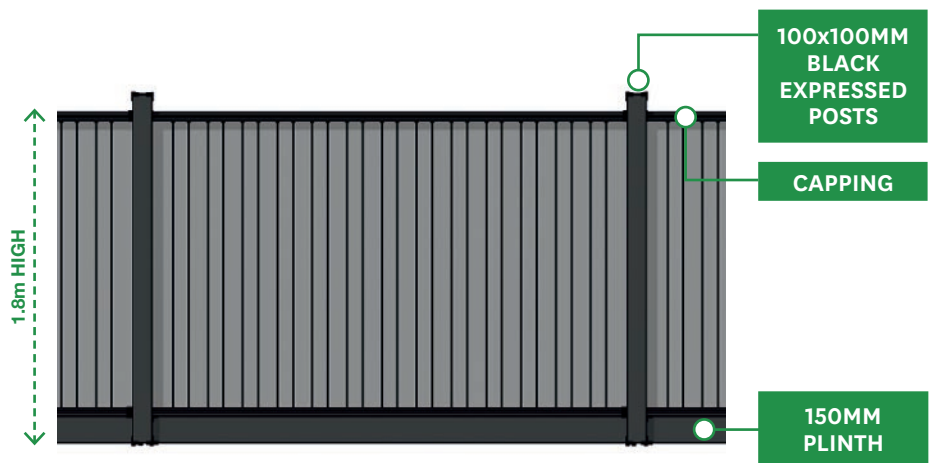
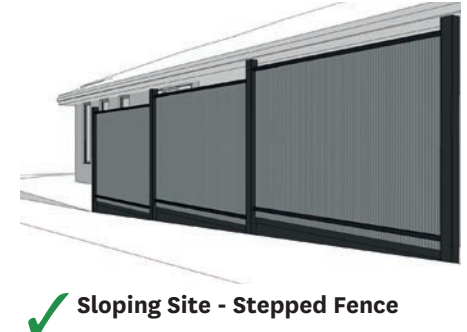
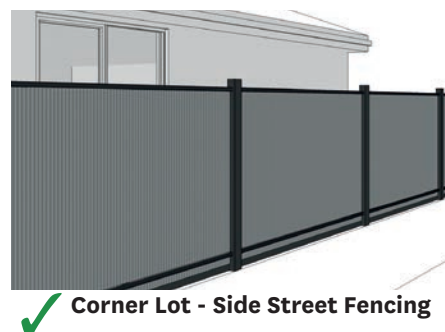
Fences on corner lots must not extend beyond the point indicated on the relevant council approved building envelope plan.



Side Street Fencing max. 60% of Length of Side Boundary



Option Side Street Stepped Fencing with Landscaping



Fence Detail

06

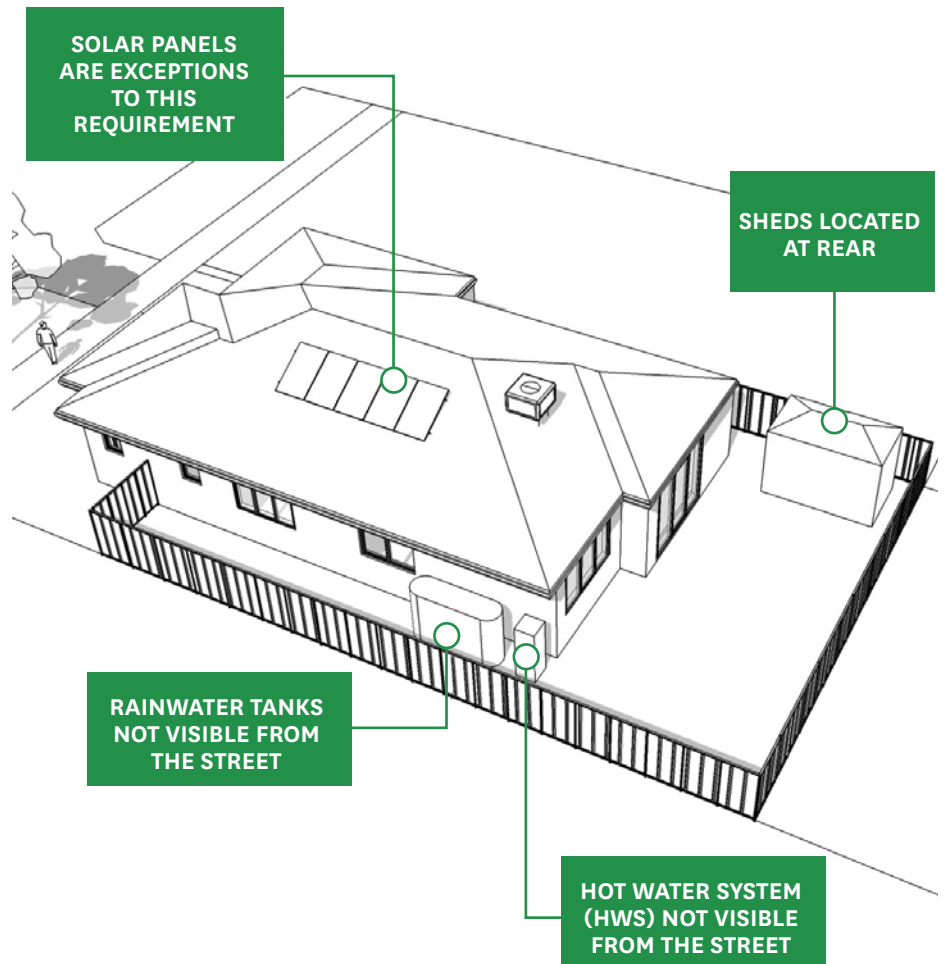
EXTERNAL ELEMENTS

6.1 General requirements

Any additions, fixtures, equipment, sheds, outbuildings or pergolas must be located to the rear of your home out of sight from your street or any public reserve.

This includes (but is not limited to) satellite dishes, external hot water services, solar hot water systems with roof mounted tanks, water tanks, spa pumps, heating and cooling units, rubbish disposal containers, rain water tanks, and washing lines, solar pool heating coils.

Solar panels for heating water or generating energy are exceptions to this requirement.



6.2 Air conditioning units

Air conditioning units must be the low profile 'contour' type and the same colour as your roof. The units must be located at the rear half of the roof, and located so that they are generally not visible from the street or any public reserves.

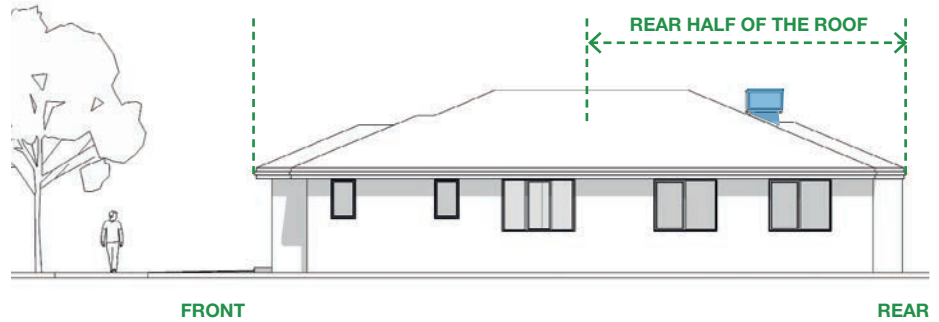
6.3 Exposed plumbing

Exposed plumbing must not be visible from the front or side street or neighbouring public reserves.

This excludes gutters and downpipes.

6.4 Sheds, outbuildings, pergolas

Any shed, outbuilding or pergola greater than 10m² in area that is more than 3m in height above natural ground level must compliment the finish of your home and be approved by Stockland.



Air Conditioning Units must be located at the rear half of the roof



X Non compliant air conditioning unit located at side of roof and above roof ridge line



X Non compliant air conditioning unit located at front of roof and above roof ridge line

07

ENVIRONMENTAL SUSTAINABILITY

7.1 Energy efficiency & lighting

All dwellings are encouraged to be designed and built to achieve reductions in greenhouse gas emissions in line with the relevant government regulations.

It is encouraged that all internal light fittings such as downlights, pendants, wall mounts etc allow for compact fluorescents or LED.

External light fittings must not result in excessive light spill.

7.2 Passive design

Locate indoor and outdoor living spaces to the north of the dwelling to facilitate solar access in winter months.

Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass etc to prevent significant summer solar heat gain.

Where possible, locate private open space on the north side of the allotment and avoid being located along a primary frontage.

If possible, zone dwelling layout to enable main living areas to be separately heated and cooled.

7.3 Water efficiency

All dwellings are encouraged to be connected to a rainwater tank for garden watering and car washing.

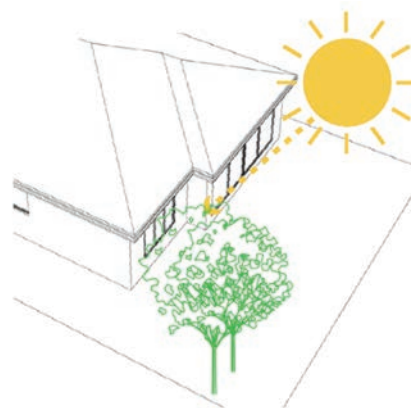
Where a purple pipe recycled water system is in operation you will be required to connect for other purposes such as toilet flushing and washing machine supply.

Reducing energy, waste and water needs and usage, increasing comfort and reducing running costs for homeowners.

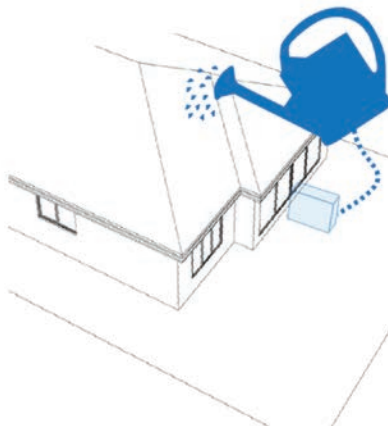
LED



NORTH



WATER



08

COOL ROOFS AT EVERGREEN

A roof designed to provide and maintain high solar reflectance

8.1 What is a Cool Roof?

A cool roof is one that has been designed to reflect more sunlight and absorb less heat than a standard roof. Nearly any type of building can benefit from a cool roof.

When implemented at scale, cool roofs can counter the urban heat island effect, caused by the heat absorbing materials in the built environment.

By reflecting incoming solar radiation, cool roofs can reduce temperatures inside buildings and mitigate cooling demand for an entire city.

8.2 Benefits of Cool Roofs

A cool roof can benefit a building and its occupants by:

- Reducing energy bills by decreasing air conditioning needs.
- Improving indoor comfort for spaces that are not air conditioned, such as garages or covered patios.
- Decreasing roof temperature, which may extend roof service life.
- Increase ecological sustainability factor, or make your building 'greener'.
- Mitigating your community's Urban Heat Island Effect.

8.3 Types of Cool Roofs

Stockland recommends the use of roofing with a solar absorbance rating of less than 0.5 to achieve maximize the benefits.

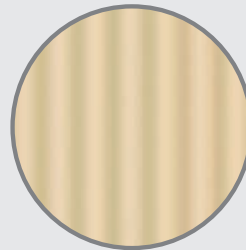
A list of colorbond options is provided below (or to be colour matched).



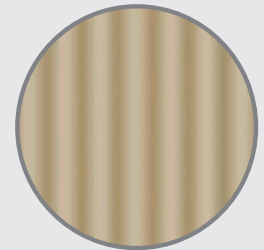
Colorbond®



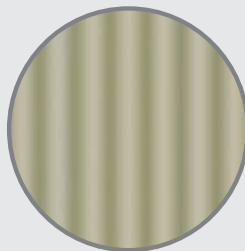
Surfmist®



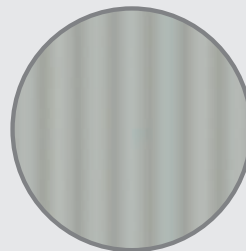
Classic Cream™



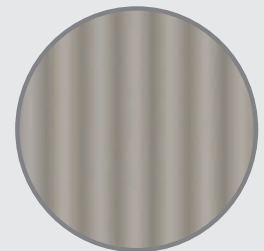
Paperbark®



Evening Haze®



Shale Grey™



Dune®

DESIGN APPROVAL CHECKLIST

DESIGN APPROVAL CHECKLIST

Site plan

1:200 or 1:100 scale

- Existing and proposed contours
- Proposed floor levels
- All setback dimensions to boundaries
- Fencing (incl. dimensions of fence return setbacks, stepped fencing, side street boundary fencing, etc)

Floor plan

1:100 scale

- Internal layout
- Dwelling areas
- Dimensions (including setbacks, articulation, porch, etc)
- Ancillary fixtures and equipment (eg. rainwater tanks, hot water systems, etc)
- Sheds, outbuildings, pergolas, etc

All elevations

1:100 scale

- External materials and colours
- Proposed floor levels and building heights from natural ground level
- Eave dimensions
- Roof pitch
- Sheds, outbuildings, pergolas, etc

Sections

1:100 or 1:50 scale

- Built form and natural ground level
- Site cut/fill
- Ceiling heights
- Retaining walls

External materials & colours schedule

- Wall cladding material and colour
- Roof material and colour
- Gutters, fascias, downpipes colour
- Window and door frames colour
- Decks, verandahs, etc
- Fencing material and colour
- Driveway material and colour

Landscape plan

1:100 scale

- Plant list, including species and sizes
- Front fencing details, material and colour
- Driveway material and colour
- Paving or hardscape material and colour
- Retaining walls

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