

ELISTON



THE LAND OF PLENTY
— DESIGN GUIDELINES —

THE LAND OF PLENTY — AWAITS —

Welcome to life at Eliston in the land of plenty. Lying amongst the beautiful, tranquil landscape of Clyde where dairy farms and market gardens all flourish, this stunning new estate offers a unique and rich lifestyle that will nourish the lives of all who live there.



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1.0 INTRODUCTION

1.1 PURPOSE AND OBJECTIVES

These guidelines have been developed to inform and guide you through the process of designing and building a home that will make an important contribution to the character and visual appearance of the exciting new community being created at Eliston. By understanding and following these guidelines you will also ensure that your home, together with those of your neighbours, will help create a diverse and interesting community for residents and visitors to enjoy for many years to come.

In this document you will find important information on:

- the guidelines for designing and locating your home
- the appearance of your home
- the landscaping and garden requirements.

They will help you...

- Choose a home that best fits your land and lifestyle.
- Protect your investment by ensuring a high standard of design and construction of homes and landscaping.
- Add value to your home and neighbourhood.

1.2 DESIGN APPROVAL PROCESS

All homes built at Eliston must be approved by the Eliston Design Assessment Panel (EDAP) prior to lodging for any Building Permit or commencing any construction of works. The EDAP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

Diverse and innovative design is encouraged at Eliston. Any proposal that meets the objectives of the Design Guidelines but is not strictly in accordance with the wording of the Design Guidelines may be approved if, in the opinion of the EDAP, the proposal has merit. No claims shall be made to the developer or their representatives with respect to the decisions made.

1.3 SUBMISSION CHECKLIST

All submissions for Design Approval must be in PDF format and include the following information:

- Site plan at 1:200, with dimensions and showing the building outline and setbacks
- All floor plans, roof plans and elevations at 1:100, with dimensions and showing the internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings
- Provide printed samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections
- Landscape plan at 1:100, with dimensions and showing the indicative extent of all hardscape and softscape, and a planting schedule that lists all proposed species referenced on landscape plan
- For lots with greater than 1.5m land fall, please include at least one sectional drawing, at 1:100, that explains the extent of proposed cut and fill location and heights of proposed retaining walls.



SUBMISSIONS

When you are ready to make your submission for Design Approval, you can lodge it on the Design Approval Portal at www.ngdd.com.au:

- Users must first register to use the portal. Once this has been done, log in and simply enter the relevant details when prompted.
- As well as being a handy source of information, this portal will help Owners, Designers, Builders and Developers to lodge and track the progress of a submission from the initial lodgement through to approval.
- Generally, we will review and respond to you within 10 working days of your submission, but this time may vary depending on the nature and completeness of your submission.

Handy Hint

Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

1.4 RE-SUBMISSIONS

- Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.
- Allowance has been made for two submissions for each Design Approval application.

- Each additional submission will incur an administration fee.
- New submissions for a lot that has already had an application approved will also incur an administration fee for each submission.

1.5 OTHER APPROVALS

- The requirements detailed in this document are in addition to, and not in lieu of, any other legal requirements. It is the responsibility of the owner to ensure any other approvals, authorisation permits or other requirements are obtained and satisfied.
- Where there is a conflict between the requirements of these Design Guidelines and the Small Lot Housing Code (SLHC), the SLHC will take precedence.

1.6 DEFINITIONS

1. Reserve means a Reserve vested in council or any other public authority on a registered Plan of Subdivision.
2. Public Realm is any land that constitutes a Reserve including, but not limited to, a Road or Park etc. See 1. above.
3. A corner lot is any lot that has more than one boundary that abuts the Public Realm.
4. Natural Ground Level means the finished surface level of the ground at the time of registration of the Plan of Subdivision.
5. A habitable room is a living room or a bedroom.
6. Primary frontage means the frontage with the greatest setback shown on the Building Envelopes Plan.
7. Secondary frontage means any boundary of a Lot that abuts the Public Realm, other than the primary frontage
8. Front Loaded refers to a lot from which the garage is accessed from the primary frontage. In this same way, rear and sided loaded refer to lots where the garage is accessed from the rear or side of the lot.





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2.0 DESIGNING AND SITING

2.1 SIZE

- The minimum floor area (excluding garages, balconies, porches, verandahs and alfresco areas) is dependent on the size of the lot as set out in the table below:

Less than 300m ²	SLHC
At least 300m ² and less than 400m ²	100m ²
At least 400m ² and less than 450m ²	120m ²
At least or equal to 450m ²	150m ²

2.2 SETBACKS

For lots less than 300m² refer to the Small Lot Housing Code (SLHC) requirements.

For lots equal to or greater than 300m², dwellings must be contained within the Building Envelope Plan applied to the lot. Please refer to the Plan of Subdivision for details of the building envelope for the lot.

Generally, dwellings must be set back as follows:

- Dwellings must be set back a minimum of 4m from the front boundary.
- Garages must be set back a minimum of 5.5m from the front boundary.
- Each dwelling must have at least one side setback of a minimum of 1m.
- On corner lots, dwellings must be setback a minimum of 2m from the secondary street frontage.

Encroachments

- The following may encroach into the front setback by not more than 2.5 metres and a secondary public realm setback by not more than 1.0 metres:
 - Balconies, verandahs, open porches, covered walkways and porticos that have a maximum height less than 3.6 metres above the ground level.
 - Eaves, fascia and gutters;
- The following may encroach into the side and rear setback distances by not more than 600mm:
 - Eaves, fascia and gutters

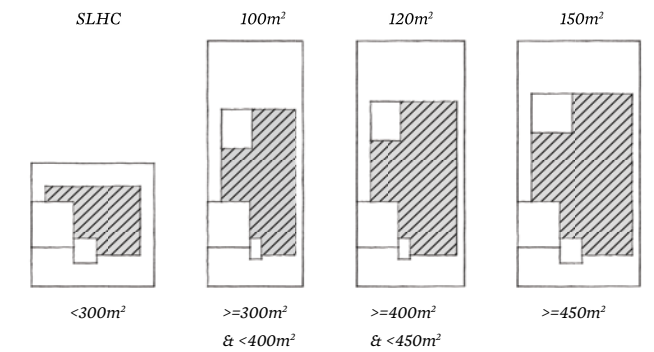
Landscaping Considerations

In addition to the minimum prescribed setbacks described above, consideration should be given to the mature size of any proposed planting, particularly in the front setback, to allow plenty of space for roots and branches to spread.

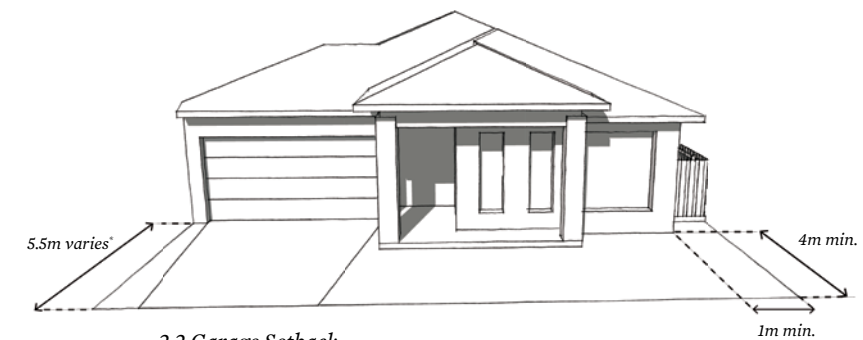
2.3 BUILT FORM VARIETY

- Overly similar façades are not permitted within 3 lots of each other along both sides of the street.

If any two façades are deemed not to comply with this the determination of this issue will be at the sole discretion of the EDAP.

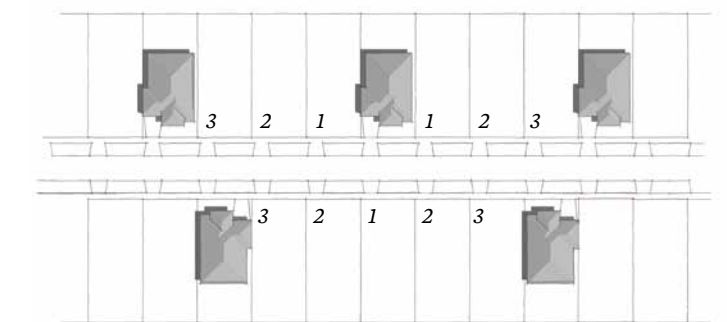


2.1 Size



2.2 Garage Setback

Refer to building envelope plan.



2.3 Built form variety



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3.0 APPEARANCE

3.1 CHARACTER AND STYLE

1. Facades must be contemporary in approach and exclude references to historical and decorative styles (Edwardian, Georgian etc.) and/or details (quoins, fretwork, arches, decorative columns and/or mouldings, lace work etc.).
There may be scope for the use of these types of elements as part of a contemporary design, but the determination of the suitability of any such designs or treatments is at the sole discretion of the EDAP.
2. Kit homes and dwellings constructed of second hand materials are not permitted.

3.2 MASSING AND ARTICULATION

1. Ceiling heights for all dwellings must not be less than 2.4 metres above floor level, for the ground floor.
2. Two storey dwellings must incorporate some form of transition from the ground floor to the first floor to provide articulation to the front façade. Examples of acceptable treatments include elements such as balconies or other protrusions and a change in materials and/or finishes.

3.3 ENTRY

1. Each dwelling must incorporate a prominent front entry point for pedestrians, that is readily visible from the primary street frontage.
The front entry point may take the form of a porch, verandah or other feature, to the satisfaction of the EDAP that has:
 - A minimum covered area of 3m²
 - A minimum width of 1.5m
2. The dwelling must have at least one habitable room window that addresses the primary street frontage.

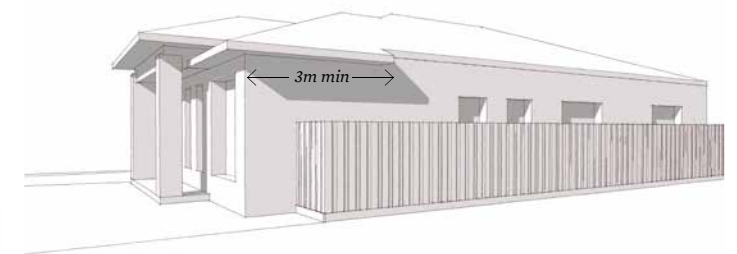


3.3 Entry

3.4 ROOFS

A variety of roofing forms and styles is encouraged. Articulated roof shapes with elements such as hips, gables, Dutch gables and/or dormer windows are preferred. Skillion, curved, or other innovative roof designs that incorporate some flat elements will be assessed on their design merit.

1. Pitched roofs must incorporate the following:
 - minimum pitch of 22.5°;
 - eaves to the entire elevation for any façade that faces the public realm.
 - eaves returning along the side wall for at least 3m on single storey dwellings
 - eaves to the entire upper level on two storey dwellings
 - in all instances, the minimum eaves width is 450mm
3. Flat Roofs must be concealed from the public realm by a parapet. As a minimum, a parapet to a public realm façade must be returned along the side wall for at least 1.5m.
4. Roof cladding must compliment the style of your home. Acceptable materials include:
 - pre-finished metal roof sheeting
 - low profile roof tiles
5. Roof materials must be matte finish and non-reflective. Galvanized, zincalume, fibre cement or unfinished roof materials and rainwater fixtures are not permitted.



3.4.1 Pitched roof eaves return

3.0 APPEARANCE

3.5 MATERIALS AND FINISHES

1. The front façade must be finished with a mixture of external materials and finishes. A single finish/colour façade facing the public realm will not be approved.
2. Face brickwork must not account for more than 75% of the front facade (not including the garage door or windows)
 - Other front façade materials may include:
 - Stone
 - Lightweight cladding
 - Render
 - other materials approved by the EDAP

The long term maintenance aspects of external wall tiles should be carefully considered when selecting the finishes of a dwelling.
3. Materials used on the front façade must extend to the side elevation for a minimum of 1.5m except for a corner lot where additional requirements apply.
4. External glazing that is visible from the public realm must not contain leadlight, stained glass, reflective glass or patterned film.
5. Roll down security shutters and recessed infill panels above doors, windows or garage doors must not be visible from the public realm.
6. Facades should adopt a colour palette of neutral and muted tones. External finishes, materials and colours must be approved by the EDAP. Each application must include printed samples or images of the proposed colours, finishes and materials, including:
 - roofing
 - rain water fixtures (gutters, downpipes, fascias etc.)
 - external walls
 - window frames
 - garage door
 - front paving and driveway

3.6 CORNER LOTS

1. Dwellings on corner lots must address the secondary frontage by incorporating the same or similar design features to those used on the primary frontage. As a minimum, a secondary façade must include 3 of the following features:
 - a window with matching head height to closest front facade window;
 - eaves returning along the side wall for the entire secondary elevation;
 - a parapet that returns from the front for at least 3m along the secondary frontage wall;
 - Highlight materials and finishes that wrap around from the primary façade;
 - A protrusion such as a pergola, portico, balcony etc.;
 - Other treatments, to the satisfaction of the EDAP
2. Materials used on the front façade must extend to the secondary frontage for a minimum of 3m.
3. Corner features must be forward of the return fence and/or readily visible from the public realm.

Please note that blank walls on the public realm side of the return fence are not permitted.

3.7 CAR ACCOMMODATION

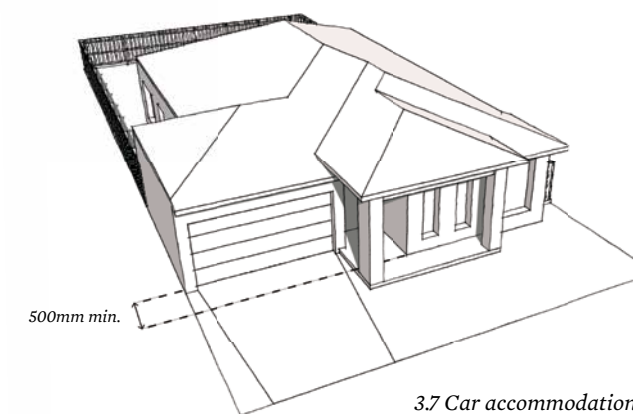
1. All lots must provide off-street accommodation for at least 2 cars, at least one of which must be in a lockup garage.
 2. Garages wider than 6.5m must introduce a form of articulation or a window into the garage-door wall.
- Front Loaded Lots**
3. Garages must be integrated into the overall form of the dwelling and fully enclosed. Stand-alone garages, carports and open sided garages are not allowed.
 4. Garages must be stepped back a minimum of 500mm from the front wall of the dwelling. This distance is measured from the front building line, not from verandas or porches etc.
 5. Lots with a frontage of 12.5m or more must provide a double garage.
 6. For single storey dwellings, the total width of the garage door(s) must not exceed 40% of the width of the lot frontage.
 7. Triple garages must have an articulated facade, such that the third garage is set back an additional 500mm from the adjacent garage.
 8. Garage doors visible from the public realm must be either a panel lift, sectional overhead or other similar type. Roller doors are not permitted if they are visible from the public realm.

Side Loaded Lots

9. Provision must be made for a double garage.
10. The garage must match or complement the home in respect to external appearance and quality of construction.
11. Side loaded garages must be set back a minimum of 2m from the side boundary

Rear Loaded Lots

12. Provision must be made for a double garage.
13. The garage must match or complement the home in respect to external appearance and quality of construction.
14. Stand-alone garages and open sided garages are permitted, as long as the garage-door wall is able to close the lot off from the street or lane.
15. The re-location of the crossover or the garage on these lots is not permitted.
16. Rear loaded garages must have a zero setback from the rear boundary.



4.0 LANDSCAPE

4.1 DRIVEWAYS AND CROSSOVERS

- Each lot must have a maximum of one cross-over per frontage.
- Driveways must be constructed from:
 - Exposed aggregate concrete;
 - Coloured-through concrete;
 - Other finishes, to the satisfaction of the EDAP
- Driveway colours should be muted. Plain (uncoloured) concrete driveways are not permitted
- The driveway must be:
 - set back a minimum of 0.5m from the side boundary to provide a strip for landscaping
 - no wider than the garage door where it meets the garage
 - no wider than the crossover at the boundary
- The driveway must be constructed prior to the occupancy of the dwelling.

4.2 FRONT YARD LANDSCAPING

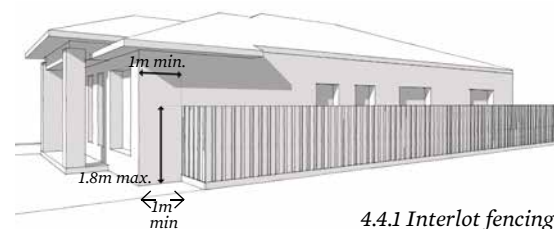
- The front garden is the whole of the area between the house, including the return fence, and the front boundary.
- At least 50% of the front garden must be consist of soft landscape items such as turf, garden beds, ground covers and other permeable surface materials including decorative stone aggregate or pebbles. Synthetic turf is acceptable to a maximum of 15% of the total garden area.
- The garden beds must contain at least 10 medium (1.0 – 1.8m) to large (2 – 3m) shrubs that are installed from a minimum 200mm pot size and 20 smaller shrubs and/or ground covers that are installed from a minimum 150mm pot size.
- All garden beds must be edged using timber or steel edging and should be densely planted to ensure good coverage of growth. Empty spaces between species should be avoided;
- All garden beds must be mulched to help keep the soil moist. Use pine bark or other organic matter, or decorative pebbles. Note, brightly coloured or coarsely textured wood mulches (such as dyed shredded wood or shredded pallet wood) and brightly coloured pebbles (such as reds or whites) are not permitted.
- At least one tree, with a minimum height of 2.0 metres at time of planting, must be planted in the front garden. Consideration should be given to the mature size of any trees, to allow appropriate room for roots and branches to spread.
- Landscaping to the front street view of the lot must be completed within 6 months of the issue of the Occupancy Permit.

4.3 LETTER BOX

- The letter box must be positioned so that it is on the front boundary with the number of the property clearly displayed.
- It should complement the dwelling and front landscape in terms of materials, colour and style.

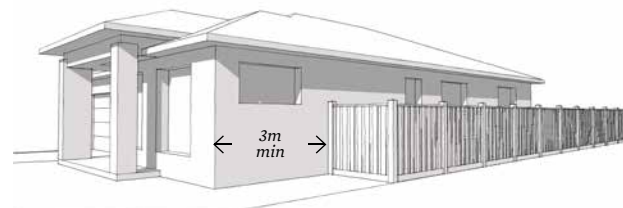
4.4 FENCING

- Interlot fencing must be:
 - Constructed with timber posts and lapped palings
 - A maximum height of 1.8m above natural ground level
 - Terminated a minimum of 1m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining lot
 - Terminated by returning to meet the closest wall of the dwelling (return fence).



4.4.1 Interlot fencing

- Return fences must be:
 - Constructed with materials and finishes to match or complement the adjacent fence
 - The same height as the adjacent fence
- Any gate in a fence must match or complement the fence in terms of materials and finishes
- Corner Fencing must be:
 - Constructed with:
 - Minimum 1.9m high, exposed timber posts
 - Maximum 1.8m high, lapped and capped palings
 - 150mm bottom plinth.
 - Terminated a minimum of 3m behind the closest front wall of the dwelling or 1m behind any corner treatment, whichever is greater
 - Terminated by returning to meet the closest wall of the dwelling (return fence).



4.4.4 Corner fencing

- Front fences, fences between the return fence and the front of the lot (wing fences) and any colorbond fences are all not permitted.

5.0 EXTERNAL SERVICES, FIXTURES AND ANCILLARY ITEMS

5.1 FIBRE TO THE HOME

All homes in Eliston will have access to an advanced Fibre to the Home network by NBNCo. This will provide the delivery of phone, internet and television (including free to air and pay TV) services. It will also be capable of supporting a range of other services, such as security, energy monitoring and home automation as these become commercially available. To take advantage of this technology and connect to the available communication infrastructure, it is important for your builder to provide the appropriate conduit and cabling interface between your home and the street. The type and complexity of associated cabling within the confines of your home is your choice and can range from simple to complex depending on your budget and lifestyle preferences.

Please refer to www.nbnco.com.au for more information.

5.2 RECYCLED WATER

Eliston has been designed to incorporate a "Third Pipe" recycled water network. This will enable all homes in Eliston reduce the demand of potable water resources. It is a South East Water requirement that every home at Eliston is connected to this recycled water system. Please contact South East Water to confirm the requirements in detail.

Please refer to www.southeastwater.com.au for more information.

5.3 SERVICE EQUIPMENT

- Satellite dishes, antennae or external receivers must be:
 - located to the rear of the dwelling; and
 - not readily visible from the public realm

- Heating and cooling units must be:
 - located towards the rear of the dwelling;
 - not readily visible from the street; and
 - if located on the roof, must be
 - positioned below the ridge line
 - positioned to the rear of the roof and
 - coloured to match the roof as far as practical.
- Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.

5.4 SCREENING

- Ancillary structures and elements must be located so that they are not readily visible from the public realm. This include items such as
 - rubbish bin storage areas
 - washing lines
 - hot water systems
 - any water storage tanks
 - swimming pools
 - spa pumps
 - external plumbing other than that for rain water
- Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot.



Artists impression only. Subject to council approval.

5.0 EXTERNAL SERVICES, FIXTURES AND ANCILLARY ITEMS

5.5 SIGNAGE

1. Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer
2. One sign only may be erected to advertise the sale of a completed dwelling.
3. Signs for dwelling names and home businesses must not exceed 200mm

5.6 SITE MANAGEMENT

1. The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow excessive growth of grass or weeds upon the lots.
2. The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.

5.7 CROSSOVER AND FOOTPATH PROTECTION

It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.

5.8 STREET TREE PROTECTION

It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.

5.9 SHEDS AND OUTBUILDINGS

1. If less than 10m² in area, sheds and outbuildings must not be readily visible from the public realm.
2. If more than 10m² in area, sheds and outbuildings must:
 - match or complement the appearance of the dwelling in form, colour and materials; and
 - have a maximum height of 3.6m at the ridgeline, measured from natural ground level; and
 - have a maximum height of any perimeter wall, excluding the gable infill, of 2.4m, measured from the natural ground level

5.10 WINDOW FURNISHINGS

Sheets, blankets or similar materials for which window furnishing is not their primary use, are not permitted.

5.11 COMPLETION OF WORKS

1. Building works must commence within 12 months of settlement and must be completed within 12 months of work commencing.
2. The garage must be constructed at the same time as the dwelling.
3. Boundary fencing must be completed prior to the dwelling being occupied
4. Driveways must be completed within 30 days of the Occupancy permit being issued.
5. Internal window furnishings which are visible from the public realm should be fitted within 3 months of the Occupancy permit being issued.
6. Landscaping of the front yard, including the nature strip, must be completed within 6 months of the Occupancy permit being issued.



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