



# Design Guidelines

**Boardwalk is a new residential estate within the much sought after Melbourne suburb of Point Cook. The future community comprising around 250 homes will be characterised by quality contemporary form complementing a natural setting.**

# Contents

Overview & Project Objectives	5
Design Assessment & Approval	6
Architectural Attributes	8
1. Architectural Character	8
2. Siting & Setbacks	9
3. Roof Design	10
4. Corner Lots	10
5. Rear Loaded Allotments	11
6. Garages & Carports	12
7. Outbuildings & Screening	12
8. Colour Scheme & Materials	13
9. Building Materials	14
10. Landscaping & Fencing	14





# Design Guidelines

To achieve the very best outcome for the Boardwalk community, it is important to adopt design principles that deliver quality open space and housing. These principles are reflected in the Boardwalk Design Guidelines and all housing at Boardwalk will be required to adopt the criteria set out in them. The Boardwalk Design Guidelines are included within the Plan of Subdivision and contract of sale, and outline ongoing restrictions with respect to use of the lot. Please ensure you are familiar with your obligations.

These Guidelines complement the vision and the quality of landscape that will differentiate Boardwalk from anything else available in Point Cook. To ensure the quality of housing is delivered and to maximise the appeal of Boardwalk the following key elements are set out in the Boardwalk Design Guidelines:

- Design Assessment Panel (DAP) approval
- Architectural attributes
- Colours and materials
- Landscape and fencing

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## PLEASE NOTE

Compliance with the Boardwalk Design Guidelines is additional to your requirements under local and state government statutory requirements, the Victorian Building Regulations and the National Construction Code of Australia.

In consideration of dwelling designs, the Design Assessment Panel (DAP) may exercise its discretion to waive or vary a requirement where they deem it to be allowable, or beneficial to the development. The Guidelines are subject to change by the developer at any time without notice following planning approval by Wyndham City Council. All decisions regarding the Guidelines are at the discretion of the DAP.

# Design Assessment & Approval

To ensure that all housing respects the vision and character of Boardwalk, and contributes to the quality of the streetscape, all housing designs are required to be assessed by the Design Assessment Panel (DAP) against these Design Guidelines.

Once the design and drawings have been completed for each dwelling, a full set of documentation with a completed Design Approval Checklist (contained in the Contract of Sale) must be forwarded for DAP Approval. The DAP will use its best endeavours to review and respond within 10 working days of receiving a full set of documentation.

## **THE SET OF DOCUMENTS NEEDS TO BE FORWARDED BY EMAIL TO:**

Design Assessment Panel  
vic.development@metroprop.com.au

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## **AS A MINIMUM THE FOLLOWING WILL BE REQUIRED:**

### **1.**

Site Plan (drawn to 1:200 scale) setting out: The home on the lot with dimensions (in metres) and setbacks from all boundaries, proposed fencing and driveway location, including landscape plan.

### **2.**

Floor Plans (drawn to 1:100 scale) setting out: The layout of the home indicating all rooms, floor areas (m<sup>2</sup>), windows, external doors, external fixtures and nominated floor levels.

### **3.**

Elevations of all sides of the house (drawn to 1:100 scale) setting out: Wall heights, all external finishes, roof and eave overhang dimensions, roof pitch, window types and material, accurate ground level and garage door type. Relevant cross sections should also be included to assist with the assessment where appropriate.

### **4.**

External colours & materials schedule.

- The colour scheme for the house
- Nominating materials to be used to all elevations of the house
- Colours of guttering, downpipes and fascia boards
- Colour of renders to be used
- Garage door colour and material
- Window frame materials and colour

Once approved a stamped copy of the documents will be returned to you. Following receipt of the stamped plans you must then obtain the approval from the local Council or relevant Building Surveyor and/or any other relevant authorities required by the authority approval process.

Documents are to be emailed as PDF files at a recognised scale at A3 format to the above address.

Approved documents will be provided to the applicant as stamp endorsed PDF files.

Approval by the DAP does not warrant or imply that your building complies with the Wyndham Planning Scheme or the Building Regulations of Victoria (2006).





# Architectural Attributes



## DEFINITIONS:

**Verandah:** An open, roofed structure supported on one side by the exterior wall of the dwelling and by posts built along the length of the canopy on the outside face.

**Portico:** A roofed area centrally located over the front entrance of the dwelling, open on one or more sides, typically supported on one side by the façade of the dwelling and on the remaining sides by piers or columns.

**Porch:** A roofed alcove attached to the front entrance of a building. It is external to the walls of the main building and may be partially enclosed by external walls and screens extending from the main dwelling.

## 1. ARCHITECTURAL CHARACTER

To ensure the consistency of Boardwalk's character and streetscape, the following sets out the form of housing styles permitted: 1.1 All homes are to be of contemporary design.

Period styles, such as Edwardian, Federation and Georgian, are not permitted.

- 1.1 Hampton façades that are contemporary in style will be assessed based on their architectural merit
- 1.2 Period detailing, such as quoins, corbelling, fretwork and lacework are not permitted. There is however, scope for the use of contemporary features, subject to the satisfaction of the DAP.
- 1.3 The front façade of the dwelling must incorporate a verandah, entrance portico or covered porch at the front door to create a strong sense of entry. This is subject to the following:
  - 1.3.1 Verandahs must have an area of at least 6m<sup>2</sup> and a depth of at least 1.0m.

- 1.3.2 An entrance porch or portico on all lots above 300m<sup>2</sup> must have an area of at least 4m<sup>2</sup> and a depth of at least 1.0m.

- 1.4 With the exception of designated integrated housing developments, façades must not be identical or indistinguishable within three house lots, along both sides of the street.

In the event that more than one application of the same façade design has been submitted for lots within three housing lots both either side and across the street, consent will be given to the first complete application to be received.

Any subsequent applications for the same façade will need to incorporate some amendments in order to ensure diversity and visual interest in the streetscape.

The minimum variation from the nearby approved façade design is to include: a different entry feature, colour scheme and window proportions.



## 2. SITING & SETBACKS

The siting of your home and how it relates to other houses in the street is an important criteria in delivering an appealing streetscape. All houses must be sited in accordance with the following requirements:

- 2.1 Front, rear and side setbacks must be in accordance with the building envelope plans and provisions set out in the Plan of Subdivision and its Memorandum of Common Provisions (MCP).
- 2.2 Any Encroachments are to be in accordance with Part 5 of the Building Regulations 2018 – Siting.
- 2.3 Garages must be stepped back a minimum of 840mm from the front building line.
- 2.4 Garages must be setback a minimum of 5 metres from the front boundary including where a building envelope allows a front setback of 3 metres.

### DWELLING SIZE

The minimum floor area (excluding garage, balconies, porches, verandahs and alfresco areas) is dependent on the size of the lot as set out in the table below:

Less than 300sqm	90sqm
300sqm or more and less than 400sqm	100sqm
400sqm or more and less than 450sqm	120sqm
450sqm or more	150sqm

### SETBACKS

All dwelling designs within Boardwalk are required to ensure all ceiling and building heights comply with Clause 54 or 55 of the Wyndham Planning Scheme. These clauses are also known as 'ResCode'.

Refer building envelopes for setbacks as per 2.1

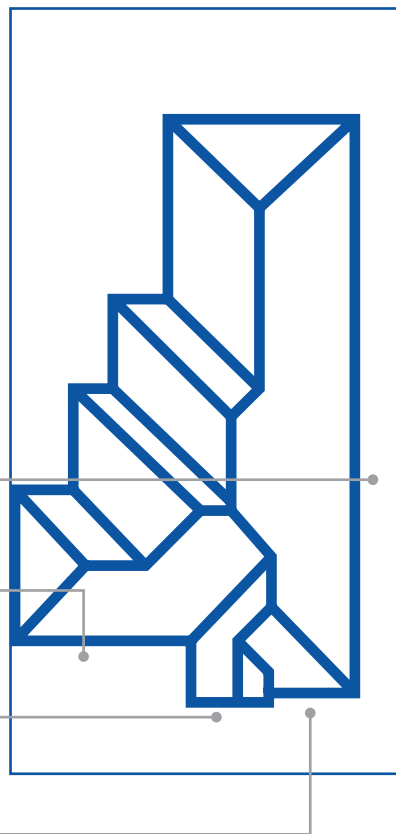
Compliance with the above statutory requirements will be assessed by your Building Surveyor.

Dwelling side setback

Garage front setback

Porch front setback

Dwelling front setback



### 3. ROOF DESIGN

Roof designs at Boardwalk are an important element in creating the character of the area.

The following sets out what roof elements are permitted:

- 3.1 Hip and gable roofs must have a roof pitch of at least 22°.
- 3.2 A variety of roof shapes are encouraged. Articulated roof shapes with elements such as hips, gables, Dutch gables, dormer windows, verandahs and/or balconies, details are preferred with an emphasis on contemporary forms and without period details.
- 3.3 Flat pitched, skillion and curved roofs are acceptable subject to DAP Approval.
- 3.4 Minimum internal ceiling height is 2.7m for all single storey dwellings.
- 3.5 Lots <300m<sup>2</sup> require a minimum internal ceiling height of 2550mm, however a minimum of 2.7m is preferred.
- 3.6 On single storey dwellings, eaves to the frontage of the dwelling must return and continue a minimum distance of 3m along the return wall.
- 3.7 Walls constructed on side boundaries (zero lot line) will be exempt from the eaves requirements unless otherwise directed.
- 3.8 Corner lot dwellings must include eaves to both street frontages as stated above and if a double storey dwelling is proposed it must include eaves around the entire perimeter of the second level.

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### 4. CORNER LOTS

Dwellings located on corner lots are in a prominent position within the estate, as such they are required to provide façade articulation to both the primary and secondary street frontages, so that the façade ‘wraps’ around the corner and becomes a feature in the streetscape.

With housing located on corners the following restrictions apply:

- 4.1 The proposed dwelling design must address both street frontages with façade articulation for a minimum length of 5m from the front of the dwelling or the length of the first habitable room, whichever is greater.
- 4.2 The articulation of the secondary street frontage visible from the street, must include a minimum 3 features replicated from the primary façade. These elements may include but are not limited to:
  - Entry features, such as porticos, verandahs, pergolas and piers, etc.
  - Building materials and colours
  - Windows and doors of similar proportions
  - Roof projections, ie. Gables or hips

Appropriate corner lot façade features will be assessed on a case-by-case basis by the DAP.

## 5. REAR LOADED ALLOTMENTS (ACCESS FROM LANEWAY)

All dwellings must have a garage in line with the following:

- 5.1 Garages facing Laneway must be mix of finishes including brick, stacked stone, sandstone or masonry blocks, weatherboard (painted), lightweight cladding, timber cladding, render or other material that is approved by the Design Assessment Panel,
- 5.2 Garage doors must be a panel lift door, slim line sectional door variety, or tilt- a door
- 5.3 Materials of the garage (including the door) must compliment the main dwelling.
- 5.4 The Garage roof forms and materials must be complementary and consistent with the rest of the house design and be constructed of either concrete tiles, terracotta tiles, or non-reflective pre-finished metal (colorbond).
- 5.5 Colours for the garage must be of muted, neutral or earthy tones see colour pallets page 14.
- 5.6 The rear garages shall use alternative roof lines, including pitched rooflines and reversed angled rooflines. Other roof forms such as curved ,skillion or flat pitched are encouraged, and will be assessed on their architectural merit and respect for the intent of the development.
- 5.7 Roof pitches must be a minimum of 22 degrees on hip and gable type roof.
- 5.8 Studio or bedroom spaces above garages are encouraged;
- 5.9 Designs must provide some passive surveillance presented to the laneway to a minimum of 35% of the first floor area
- 5.10 Driveways and paths must be constructed of brick, slate, natural stone, asphalt, or stamped, patterned or coloured concrete or exposed aggregate concrete. The colour of the driveway should complement the building design and external colour scheme and be in a muted tone that enhances the streetscape. Plain concrete is not permitted.
- 5.11 Anti-graffiti coating must be applied to all surfaces abutting a laneway.
- 5.12 Lawn and Garden are to be established prior to occupation, and must include an adequate number of mature plants.
- 5.13 Plant species must be predominantly native to Australia.



Acceptable Rear Loaded Allotments Examples



Unacceptable Rear Loaded Allotments Examples

## 6. GARAGES & CARPORTS

All dwellings must have a garage in line with the following:

- 6.1 Carports are not accepted.
- 6.2 Lots with frontages equal to or greater than 12.5 metres must incorporate a double car garage, which is constructed of the same building materials as the dwelling.
- 6.3 Lots with a frontage less than 12.5 metres must incorporate (as a minimum) a single car garage, which is constructed of the same building materials as the dwelling with an additional area available on the lot to park a second car.
- 6.4 Lots with a frontage greater than 18m may be permitted to have triple garages subject to approval by the DAP. Triple garages must comprise either one double and one single garage element or three single garage elements with a column/pillar dividing at least two of the elements, to reduce the visual prominence of the garage.
- 6.5 All garage doors to the front façade or any elevation that faces the street must be a sectional overhead door, panel lift door, or a tilt-a-door that is complementary to the external colour scheme of the house. Use of two single garage doors in lieu of one double garage door is acceptable. Roller doors must not be used where visible from the street.

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## 7. OUTBUILDINGS & SCREENING

- 7.1 Outbuildings with a size of 20m<sup>2</sup> or less are to be constructed of Colorbond metal sheeting or a similar finish, and in a colour to complement the exterior of the dwelling.
- 7.2 Outbuildings with a size of more than 20m<sup>2</sup> are to be constructed of the same building materials and roofing materials and in the same colour as the dwelling on the lot, and must ensure the outbuilding does not encroach upon the dwelling's minimum secluded private outdoor space requirements.
- 7.3 Outbuildings are to be located at the rear of the lot and not be visible from the street.
- 7.4 The maximum height of any outbuilding must be 3.6m at the ridgeline, measured from ground level.
- 7.5 The maximum height of any perimeter wall, excluding the gable infill, must be 2.4m, measured from ground level.
- 7.6 Evaporative cooling units for your home must be:
  - A low profile 'contour' type unit.
  - The same colour as the roof.
  - Placed a minimum of ½ way to the rear of your home.
  - Placed below the ridge line.
- 7.7 Trucks or commercial vehicles (exceeding 1.5 tonnes), recreational vehicles and caravans must be screened from public view when parked or stored on the allotment.
- 7.8 The following items are to be positioned so they are not visible from the street or any public reserve:
  - Air conditioning units
  - Evaporative cooling units
  - Heating systems
  - Satellite dishes
  - External plumbing
  - Clothes lines
  - Water tanks
  - Antennae
  - Rubbish bins
  - Swimming pools
  - Spa pumps
  - Rain water tanks
  - Meter boxes
  - Window roller shutter or security screens
  - Solar hot water tanks (panels are exempt)
  - Boats/caravans/trailers
- 7.9 Except with the prior written consent of the Design Assessment Panel, vacant or partially developed lots must not be used for the storage of the following items before an Occupancy Permit is issued for your home.
  - Caravans
  - Boats
  - Containers
  - Trucks
  - Sheds
  - Livestock.

## 8. COLOUR SCHEME & MATERIALS

### COLOUR SCHEME

External colour schemes for the dwelling, outbuilding, driveway and hard landscaping surfaces that are visible from the street are to adopt a colour palette of muted neutral earthy tones and materials which will enhance the streetscape and reflect the natural environment.

An external colour schedule is to be submitted for approval and must include all colours and materials used on the outside of the dwelling by manufacturer/range/ colour for approval.

The following sets out the requirements for colours to key elements of your home:

- 8.1 Any proposed façade colours must be of muted, neutral or earthy tones and generally consistent with the colour palettes opposite.
- 8.2 Proposed colour schemes are to include light and dark contrast colours within façades to provide highlights to each home and avoid flat or all dark façades that lack a variety of colours and textures.
- 8.3 Bright, feature or fluorescent colours will not be approved, unless they are deemed complementary to the design and palette of the dwelling.
- 8.4 Roof colours should be in neutral or muted tones only and where possible have a solar reflective index (SRI) of less than 64 (typically lighter shades and/or metal roofing).
- 8.5 Rain water tank, gutter and down pipe treatments must complement the house colour and style.

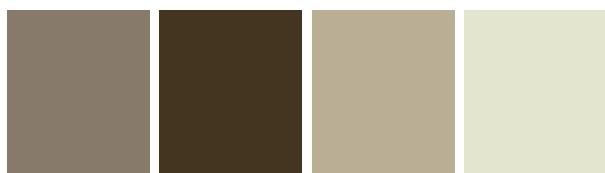
#### LIGHT COLOUR PALETTE



#### DARK COLOUR PALETTE



#### ROOF COLOUR PALETTE



## 9. BUILDING MATERIALS

When selecting materials for the home, you must comply with the following.

- 9.1 External walls (excluding windows) must be constructed of a minimum 50% brick, brick veneer, stone, rendered fibrous cement panels, or masonry veneer.
- 9.2 The façade must be constructed using a mixture of external building materials and must include a minimum of 20% of material other than brick on the façade. Materials other than brick may include:
- Stacked stone
  - Sandstone or masonry blocks
  - Weatherboard (Painted)
  - Lightweight cladding
  - Timber cladding
  - Render
  - Or other material that is approved by Design Assessment Panel

- 9.3 External windows and doors must not contain leadlight or stained glass features or reflective glass.
- 9.4 Fibrous cement infills should not be used above windows, doors and garages where visible from the street including corners.
- 9.5 No dwelling is to be built with any exposed stumps.
- 9.6 Your roof material must complement the style of your home.

Acceptable materials include:

- Matt finished powder coated metal roofing or similar;
- OR
- Matt finished shingle style or low profile concrete or terracotta tiles.

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## 10. LANDSCAPING & FENCING

### 10.1 DRIVEWAYS

- 10.1.1 The driveway must be constructed of brick, slate, natural stone, asphalt, or stamped, patterned or coloured concrete or exposed aggregate concrete. The colour of the driveway should complement the building design and external colour scheme and be in a muted tone that enhances the streetscape. Plain concrete is not permitted.
- 10.1.2 Driveway must be set minimum 0.4 metres off the side boundary to allow for a planting strip along the side boundary of the property.
- 10.1.3 Only one driveway is permitted per allotment.
- 10.1.4 The driveway shall not be wider than 6.0 metres for double garages and 3.5 metres for single garages, splayed from a single crossing width of 3m at the front property boundary.
- 10.1.5 Driveways must be constructed within 30 days of the issue of the Occupancy Permit.

### 10.2 LANDSCAPE ELEMENTS

- 10.2.1 Letterboxes must complement the dwelling in terms of materials, colour and style, and be located on the site or landscape plan.
- 10.2.2 A minimum of one canopy tree (>2.5m mature height) must be planted in an appropriate location in the front garden and shown on the landscape plan. Native species are preferred.

### 10.3 FENCING

- 10.3.1 Side and rear fencing to be 1.8 metres in height above the natural ground level, be capped and constructed with lapped timber palings with exposed posts on both sides.
- 10.3.2 Fencing of the side property boundary must begin no closer than 1 metre from the front building line of the dwelling, where the side boundary line forms the rear boundary of an adjoining lot, in which case, the fencing is to continue to the front boundary of the property.
- 10.3.3 No front fences are permitted, unless provided by the Developer. Boundary fencing to be no more than 1.2m in height forward of the front wall of the dwelling.



10.3.4 Side wing fencing to be constructed of the same material and specifications as the side and rear fencing.

10.3.5 Side gates must complement the architectural character of the dwelling and must not be higher than 1.8m above the natural ground level.

10.3.6 Fencing must be constructed within 30 days of the issue of the Occupancy Permit.

10.3.7 Corner lots must provide the following fencing:

1.8m high timber palings with exposed posts on both sides to be setback a minimum 5.0m behind the main building line.

1.2m high timber palings with exposed posts on both sides to be constructed at the main building line and back to meet the 1.8m high fencing at 5.0m behind main building line.

Landscaping of the front yard, including the nature strip, must be completed within 6 months of the Occupancy Permit being issued.

#### 10.4 RETAINING WALLS - COLOURS & MATERIALS

Retaining walls should complement the building design and external colour scheme and be constructed from one or a combination of the following materials; colour concrete, exposed aggregate concrete. Retaining walls, including proposed materials, to be shown on the landscape plan.

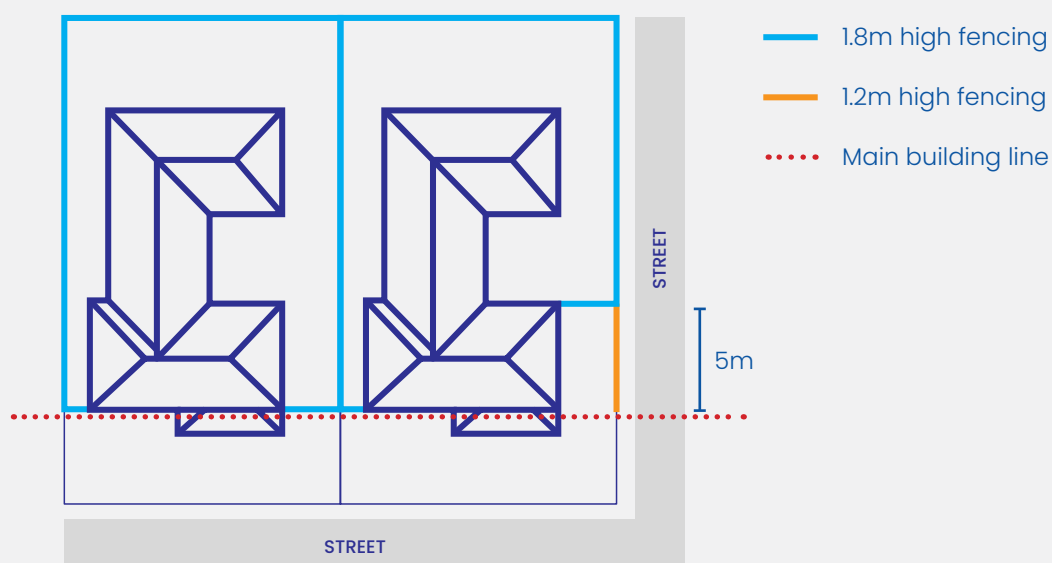
#### 10.5 SOLAR PANELS

Rooftop solar panels must be located away from the street scape or public areas, where this allows for the efficient solar access. The panels should follow the roof pitch and be integrated into the roof form. Where publicly visible, solar panels will be accessed on their merits with regards to scale, form and colour.

#### 10.6 WATER TANK

On all lots over 300m<sup>2</sup>, a rainwater tank with a capacity of not less than 2000 litres must be provided. The water is to be used for toilet flushing and other suitable internal and external uses. The colour of the rainwater tank must complement that of your house and be located so that it is not readily visible from the street or neighbouring properties.

#### CORNER FENCING



Boundary fencing to no more than 1.2m in height forward of the front wall of the dwelling

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